

# 741 WARRINGGAH RD FORESTVILLE

# NEW AGE BOARDING HOUSE

## DEVELOPMENT APPLICATION

**ISSUE STATUS**

PRELIM  
 FOR APPROVAL  
 FOR CONSTRUCTION  
 RECORD

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### DRAWING SCHEDULE

Number	Title	Scale @ A1
DA001	Cover Sheet	N/A
DA002	Site Plan	1:100
DA003	Floor Plans	1:100
DA004	Elevations + Section	1:100
DA005	Landscape Plan	1:100
DA006	Construction Management Plan	1:100
DA007	Site Analysis Plan	1:100
DA008	Shadow Diagrams + Setback Analysis	1:200
DA009	Side Boundary Envelope Analysis	1:100

### BUILDING MATERIALS

Ref	Material Description
C	Concrete
DP	Down Pipes + Gutters- Prefinished
FAL	Fencing- Aluminium Vertical Slats-Prefinished
FB	Face Brick
FC	Fibre Cement Walling System
MDR	Metal Deck Roof Sheeting- Prefinished
MDW	Metal Deck Wall Sheeting- Prefinished
OFC	Off-Form Insitu Concrete
PF-1	Paint Finish 1
PF-2	Paint Finish 2
SB	Steel Balustrade- Paint Finish
SC	Screen -Aluminium sections powdercoat finish
W	Aluminium Framed Commercial Window System
WB	Window Box / Louvre- Natural or Faux Timber

### BUILDING FINISHES

Material/Finish Specification
No Finish
Colorbond Basalt or sim.
Aluminium Vertical Slats, Northern Beaches Aluminium-Charcoal
Austral Bricks-Metallic Series- Bronze or sim.
CSR Cemintel Barestone-External or sim.
CustomOrb- Colorbond Shale Grey or sim.
Mini-Orb- Colorbond Basalt or sim.
No Finish
Dulux Whisper White or sim.
Dulux Powdercoat Eternity® Charcoal Pearl or sim.
Dulux Ferrodor or sim
Dulux Duralloy Powdercoat- Precious Pearl or sim
Dulux Powdercoat Eternity® Charcoal Pearl or sim
Fibre Cement-PF-2 or sim.

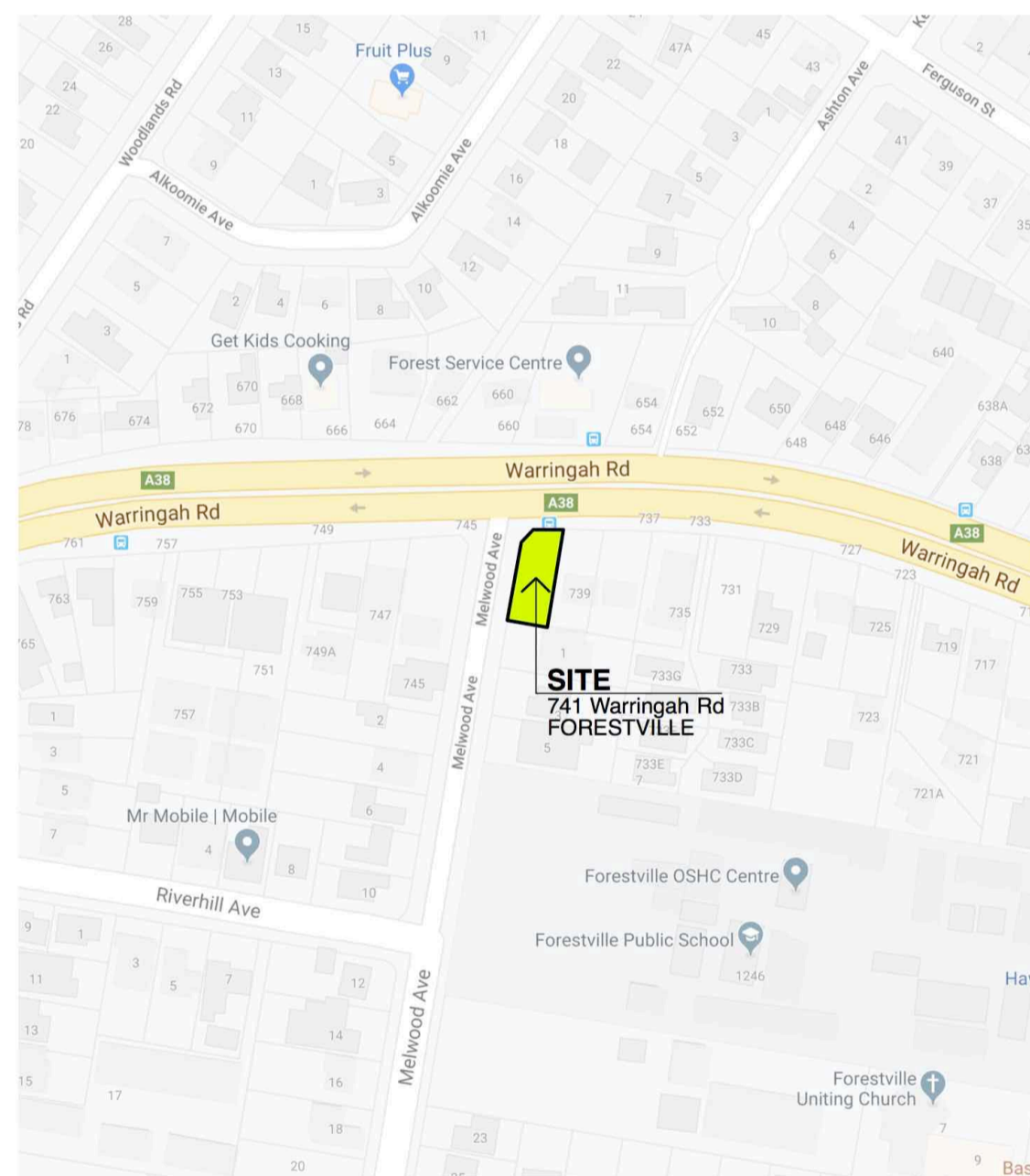
### ROOM SCHEDULE

Room No	Persons	Area*	Notes
*not including kitchen or bathroom			
<b>GROUND FLOOR</b>			
1	2	16m2	Accessible
2	2	16.2m2	
<b>FIRST FLOOR</b>			
3	2	18.6m2	
4	2	22.2m2	
5	2	19.4m2	
6	2	22.9m2	
7	2	22.9m2	
8	2	22.9m2	
9	2	22.9m2	
	18		

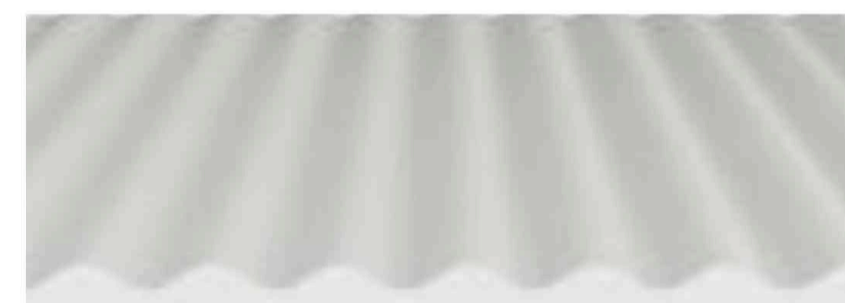
### DESIGN CALCULATIONS

SITE AREA (AS SURVEYED)	=	533.5m <sup>2</sup>
<b>LANDSCAPING</b>		
REQUIRED LANDSCAPING @ 40.0%	=	213.4m <sup>2</sup>
LANDSCAPING PROVIDED BY PROPOSAL	=	205.0m <sup>2</sup>
COMMON OPEN SPACE REQ. BY SEPP	=	20m <sup>2</sup>
COMMON OPEN PROVIDED	=	24m <sup>2</sup>
<b>PARKING REQUIRED BY SEPP</b>		
REQUIRED PARKING		
9 ROOMS @ 0.5/ ROOM	=	4.5 Cars
[INCL. 1 DISABLE PERSONS PARKING]		
CARS PROVIDED BY PROPOSAL	=	5 CARS
BICYCLES & MOTORBIKES @ 1/5 ROOMS	=	2 OF EACH
MAXIMUM POPULATION	=	18 PERSONS


 THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT  
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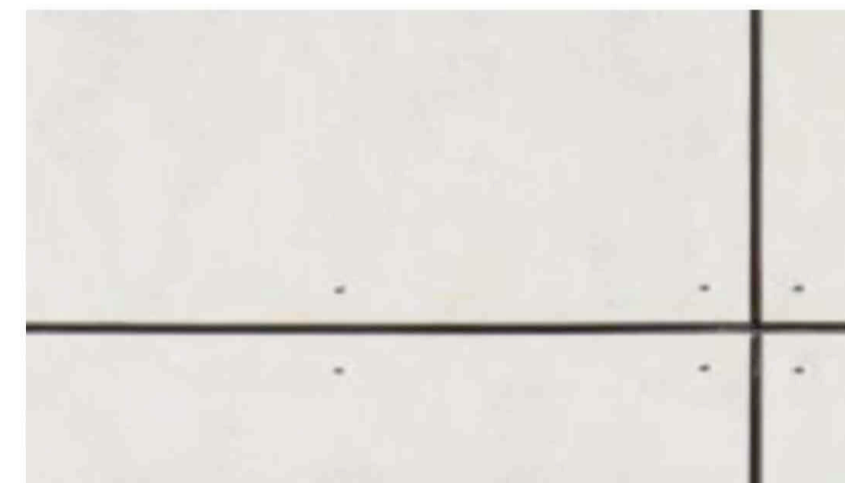
**LOCATION PLAN**  
Note to scale



MDR- Metal Deck Roof Sheeting-Colorbond Shale Grey



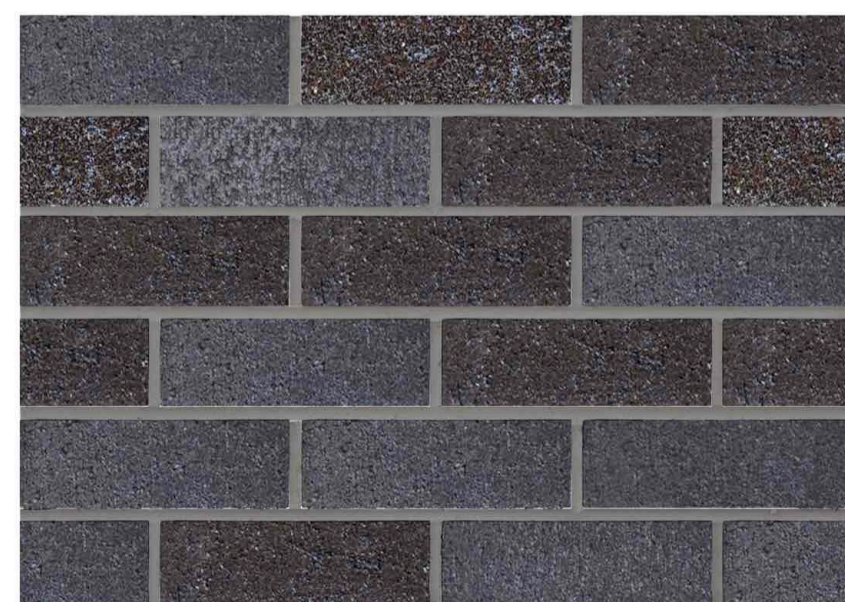
MDW-Metal Deck Wall cladding- Colorbond-Basalt Down Pipes, Guttering



PF1- Paint Finish 1



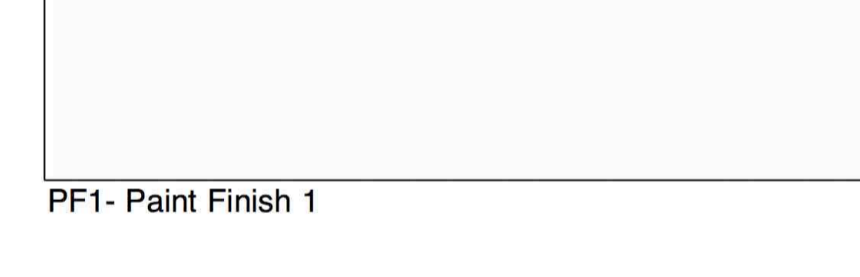
FC- Fibre Cement- CSR Cemintel Barestone



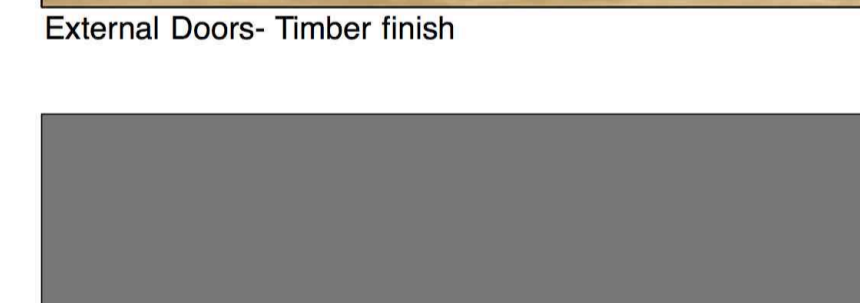
OFC- Off form Concrete



Colorbond-Basalt Down Pipes, Guttering, Fascia + MDW



External Doors- Timber finish



SB- Steel Balustrades



SC- Screens



W- Windows Aluminium Framing Powdercoat  
WB- Window Box paint Colour (PF-2)

### BASIX Project Commitments

Proposed: Boarding House  
 Address: 741 Warringah Road  
 Lot No / DP: 6B/370509

### Water (All dwellings)

Fixtures	Specification
Shower head rating	3 star (> 4.5 but <= 6 L/min)
Toilet rating	3 star
Kitchen taps rating	3 star
Bathroom taps rating	3 star
Clothes Washers rating	3 star
Dish-washers rating	3 star
Common Area (Taps)	3 star
Common Area (Clothes Washers)	3 star

### Alternative water details

Rainwater tank size	Central Rain water tank	2000L
Connected to:	Garden and lawn areas	Yes
	All toilets	No
	Laundry	No

### Thermal Comfort

Refer Section J report for all specifications

### Energy (All Dwellings)

Hot water	Specification	Rating
	Central Hot water system	Gas instantaneous
<b>Ventilation</b>		
Bathroom exhaust	Individual fan, ducted to façade or roof	
Control switch	Interlocked to light	
Kitchen exhaust	No mechanical ventilation (ie. Natural)	
Control switch	N/A	
<b>Cooling</b>		
Individual systems - living areas	1-phase airconditioning	4 star
Individual systems - bedroom areas	1-phase airconditioning	4 star
<b>Heating</b>		
Individual systems - living areas	1-phase airconditioning	4 star
Individual systems - bedroom areas	1-phase airconditioning	4 star

### Lighting

Carpark	Light-emitting diode	Time clock and motion sensors
Communal Room	Light-emitting diode	Manual on/manual off
Laundry	Light-emitting diode	Time clock and motion sensors
Ground Floor Lobby	Light-emitting diode	Time clock and motion sensors
First Floor Hallway/Lobby	Light-emitting diode	Time clock and motion sensors

### Appliances

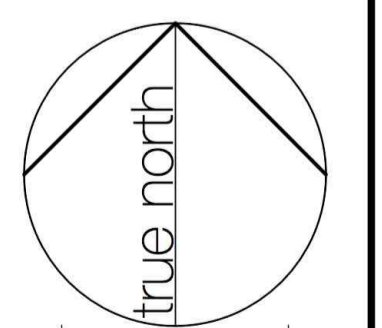
Cooktop/oven	Induction cooktop & electric oven
Refrigerator	3 star
Dishwasher	3 star
Clothes Washer	3 star
Clothes Dryer	3 star
Ventilated fridge space	Yes
Indoor clothes drying line	Yes
Common outdoor clothes drying line	Yes
Common Laundry Clothes Dryer	3 star
Common Laundry Clothes Washer	3 star

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 91 022 147 834 a.b.n.

project  
New Age Boarding House  
741 Warringah Rd, Forestville



drawing title  
**Cover Sheet**  
 issue date  
 9/12/19 Development Application DS  
 issue date Revision by  
 9/12/19 Development Application DS  
 November 2019  
 drawings.wrx  
 date :  
 November 2019  
 drawn / checked by:  
 DS / JM  
 scale at A1 :  
 As Noted

**DA001** A

issue	date	Revision	by
A	9/12/19	Development Application	DS

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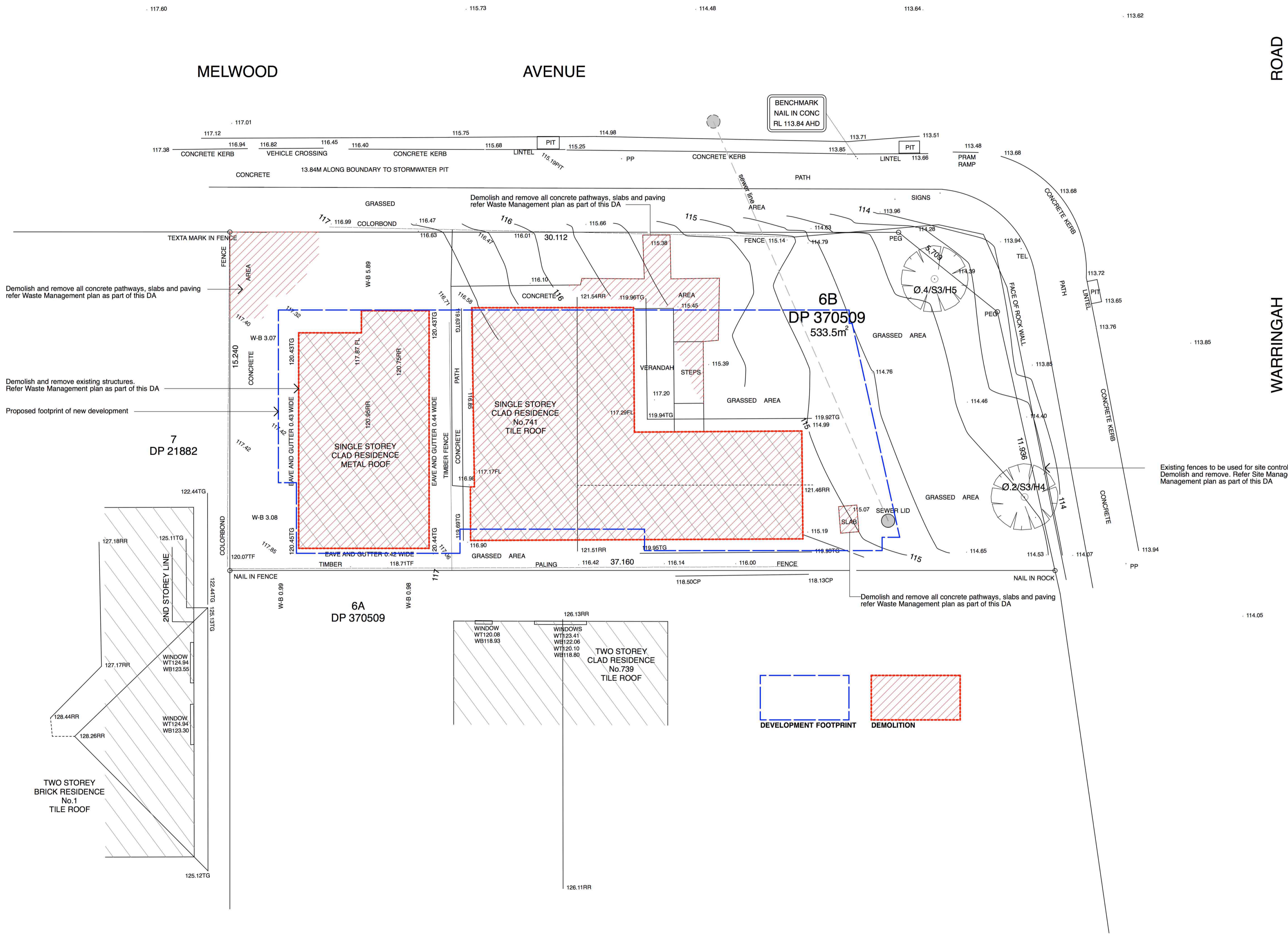
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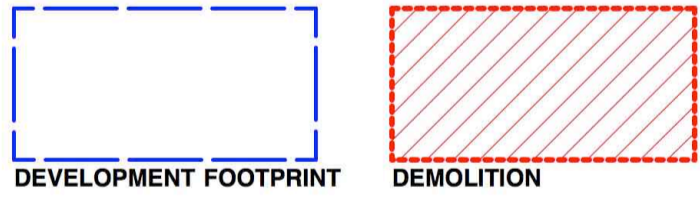


Demolish and remove all concrete pathways, slabs and paving refer Waste Management plan as part of this DA

Demolish and remove existing structures. Refer Waste Management plan as part of this DA

Proposed footprint of new development

Existing fences to be used for site control until no longer required. Demolish and remove. Refer Site Management Plan and Waste Management plan as part of this DA



**1 Site Plan + Demolition**  
Scale: 1:100 @ A1

issue	date	Revision	by
A	9/12/19	Development Application	DS

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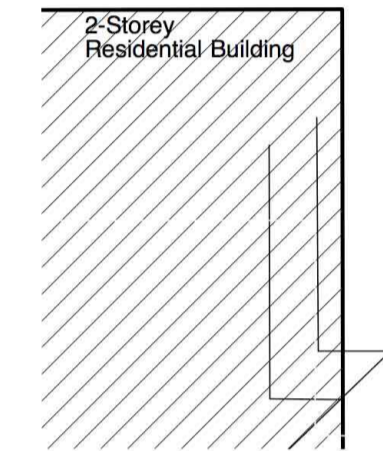
project  
New Age Boarding House  
741 Warringah Rd, Forestville  
drawing title  
**Site Plan + Demolition**

job no : 18.16  
cad file : 18.16 DA02 DA Drawings v2020.wx  
date : November 2019  
drawn / checked by : DS / JM  
scale at A1 : As Noted

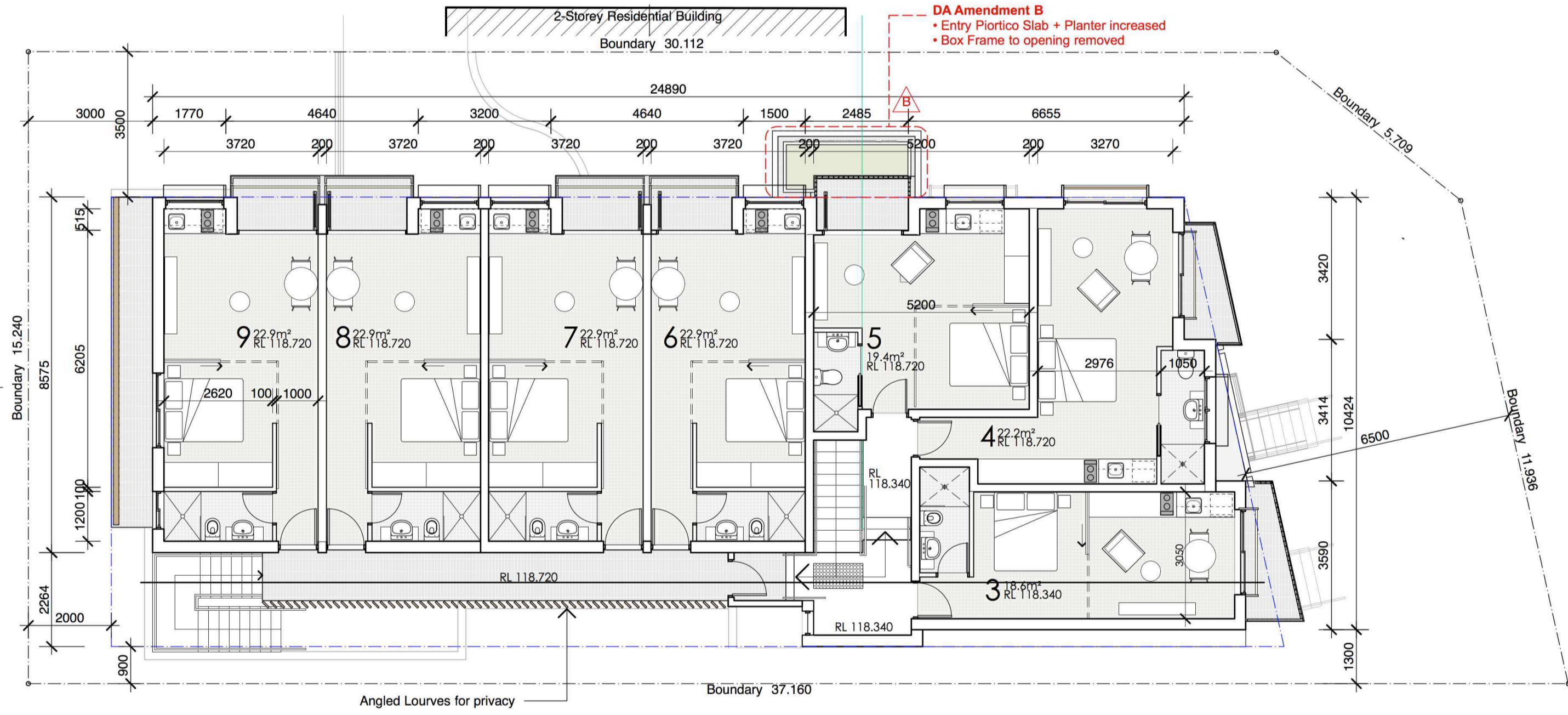
**DA002 A**

ROOM SCHEDULE			
Room No	Persons	Area*	Notes
*not including kitchen or bathroom			
<b>GROUND FLOOR</b>			
1	2	16m2	Accessible
2	2	16.2m2	
<b>FIRST FLOOR</b>			
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		18	

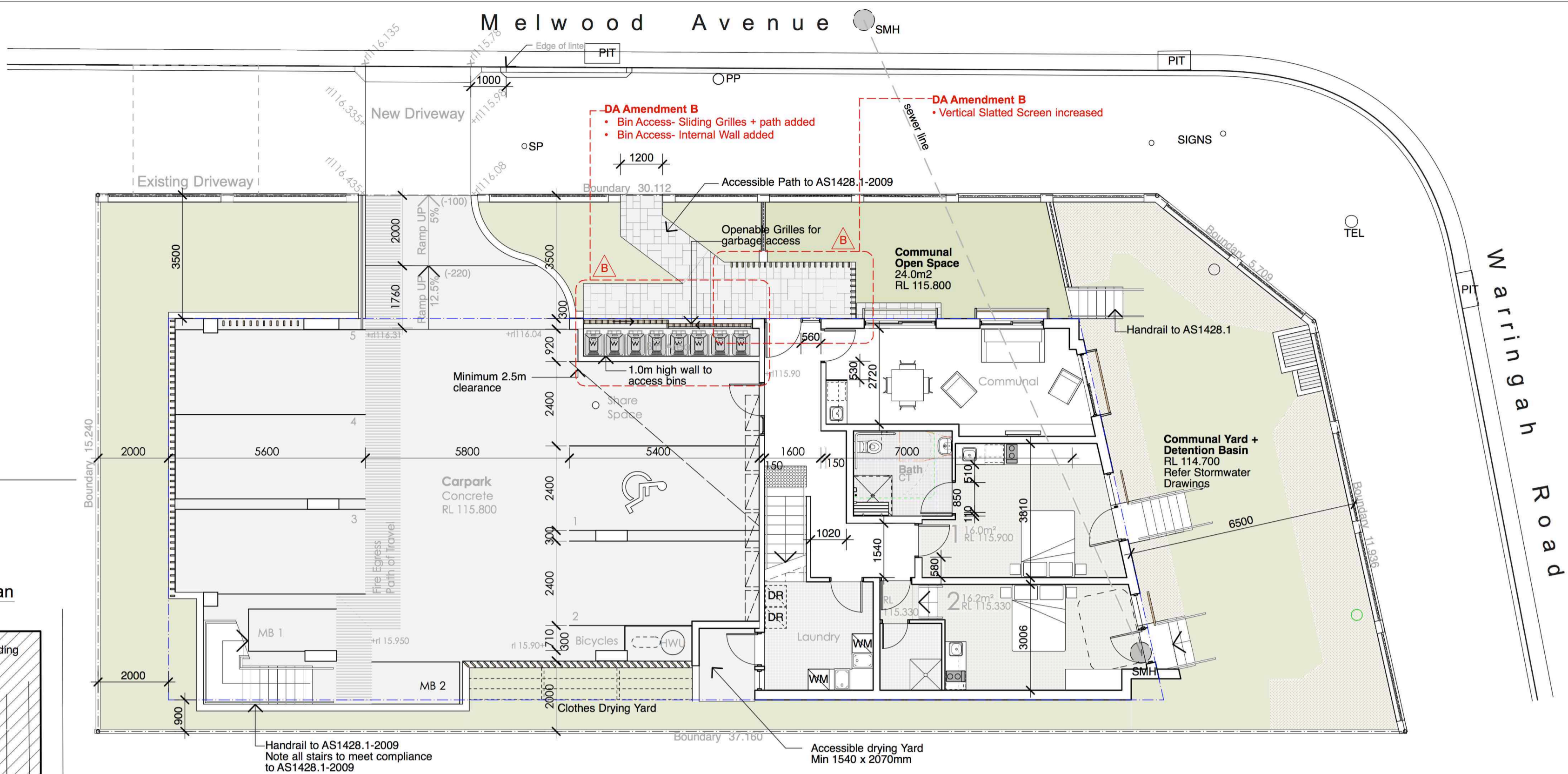
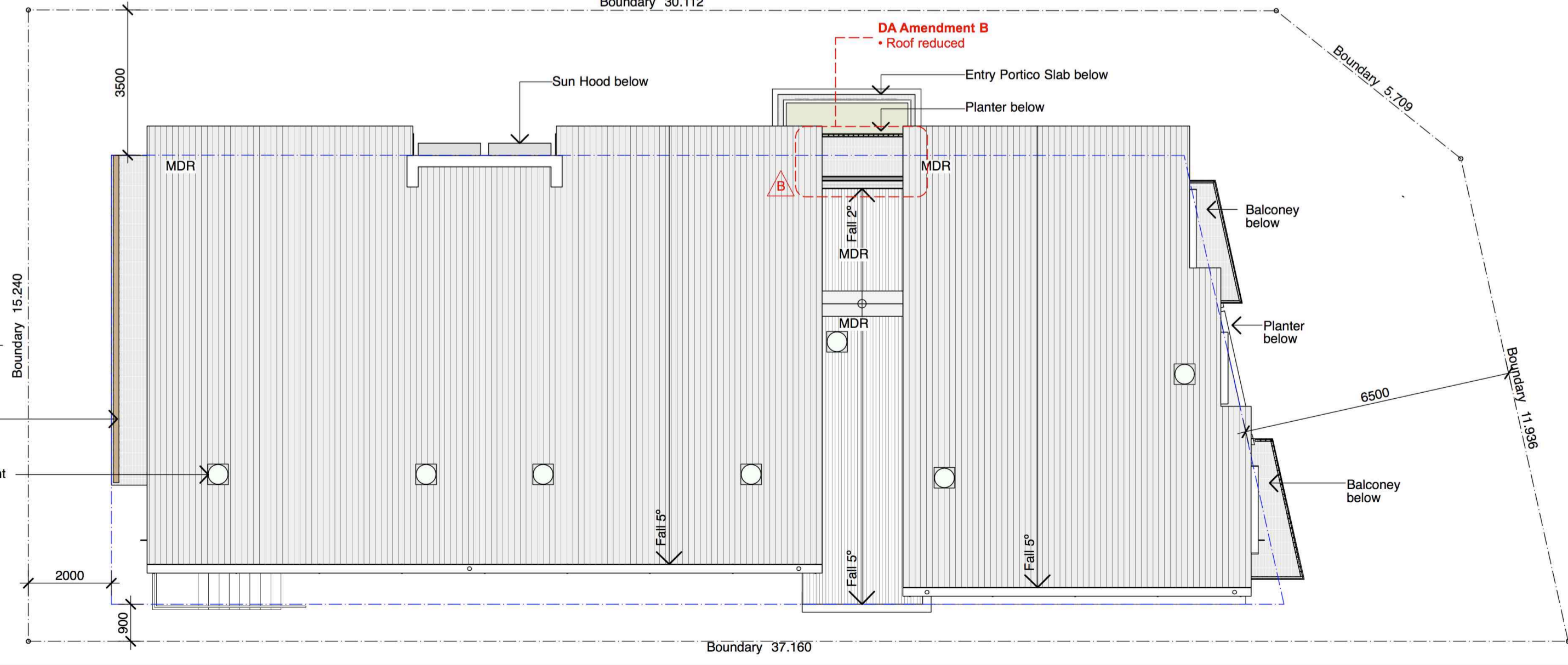
1 Ground Floor Plan  
Scale: 1:100 @ A1



2 First Floor Plan  
Scale: 1:100 @ A1



3 Roof Plan  
Scale: 1:100 @ A1



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PRELIM	FOR APPROVAL	FOR CONSTRUCTION	RECORD
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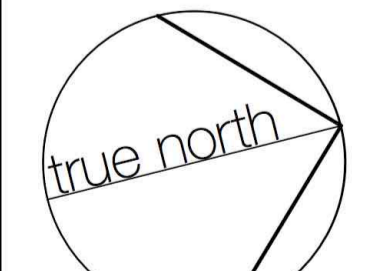
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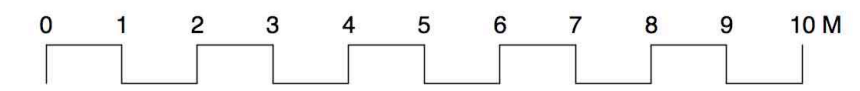


drawn / checked by:  
DS / JM  
scale at A1:  
As Noted

**DA003 B**

issue	date	Revision	by
B	7/4/20	Amendments as noted issued to Council	DS
A	9/12/19	Development Application	DS

**ISSUE REGISTER**



**BUILDING MATERIALS**

Ref	Material Description
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FAL	Fencing- Aluminium Vertical Slats-Prefinished
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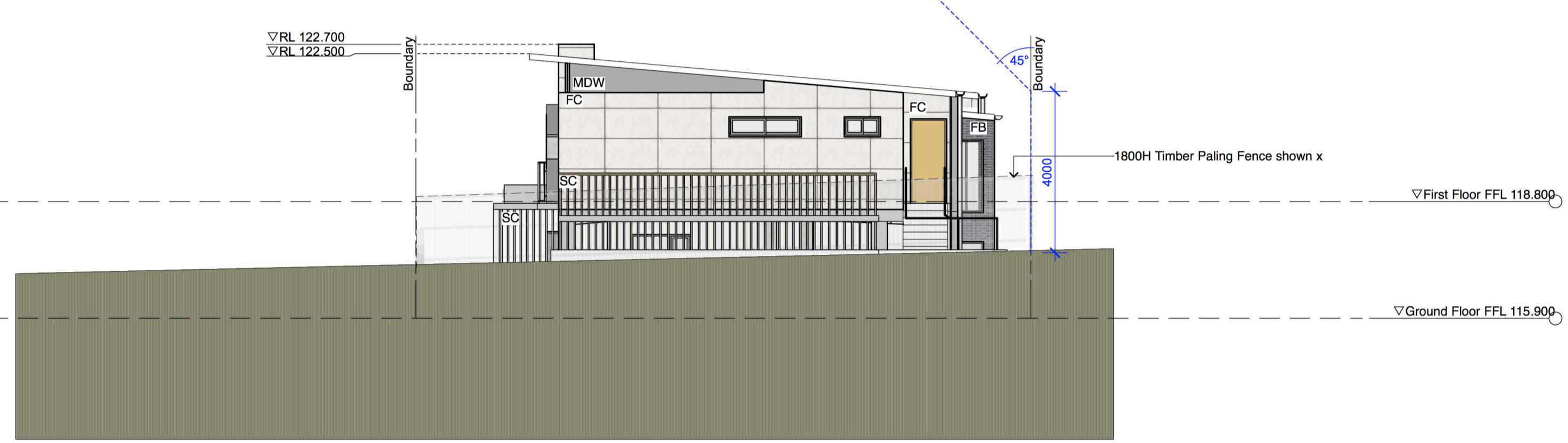
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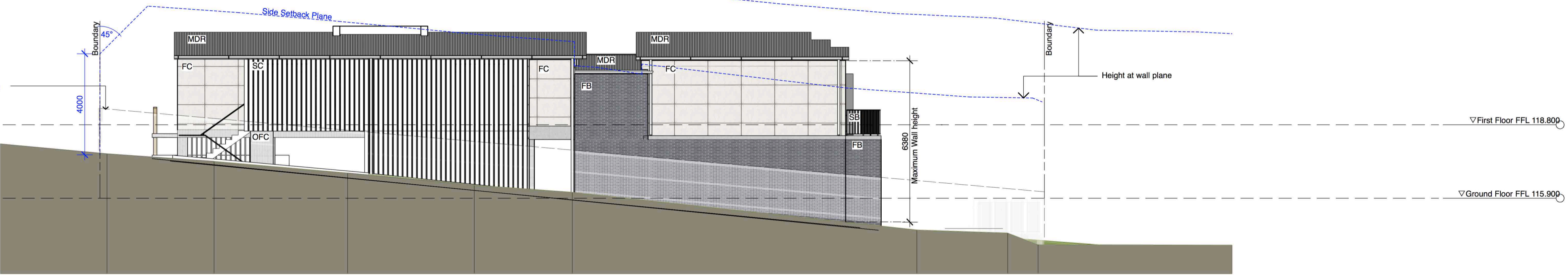
1 West Elevation-Melrose Ave  
Scale: 1:100 @ A1



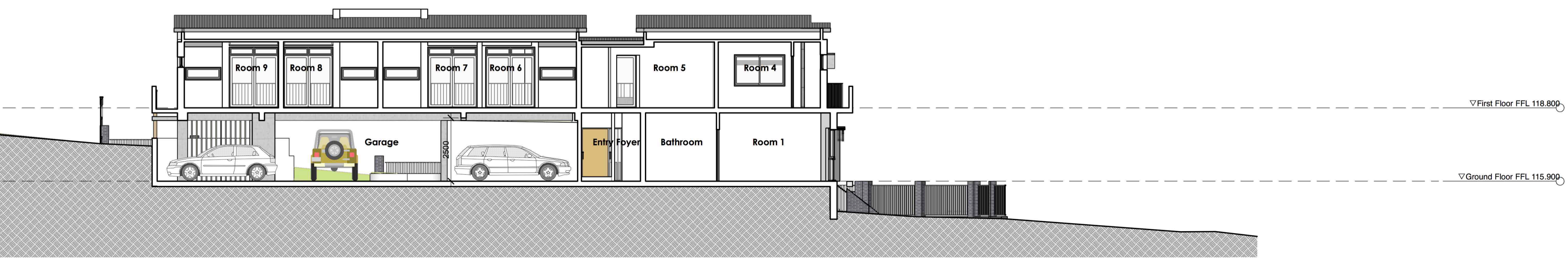
2 North Elevation-Warringah Rd  
Scale: 1:100 @ A1



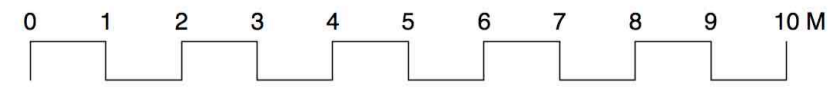
3 South Elevation  
Scale: 1:100 @ A1



4 East Elevation  
Scale: 1:100 @ A1



5 Section  
Scale: 1:100 @ A1



issue	date	Revision	by
B	7/4/20	Amendments as noted issued to Council	DS
A	9/12/19	Development Application	DS

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project  
New Age Boarding House  
741 Warringah Rd, Forestville

drawing title  
**Elevations + Section**

job no : 18-16  
 cad file : 18-16 DA02 DA Drawings v2020.wxd  
 date : November 2019  
 drawn / checked by : DS / JM  
 scale at A1 : As Noted

**DA004 B**

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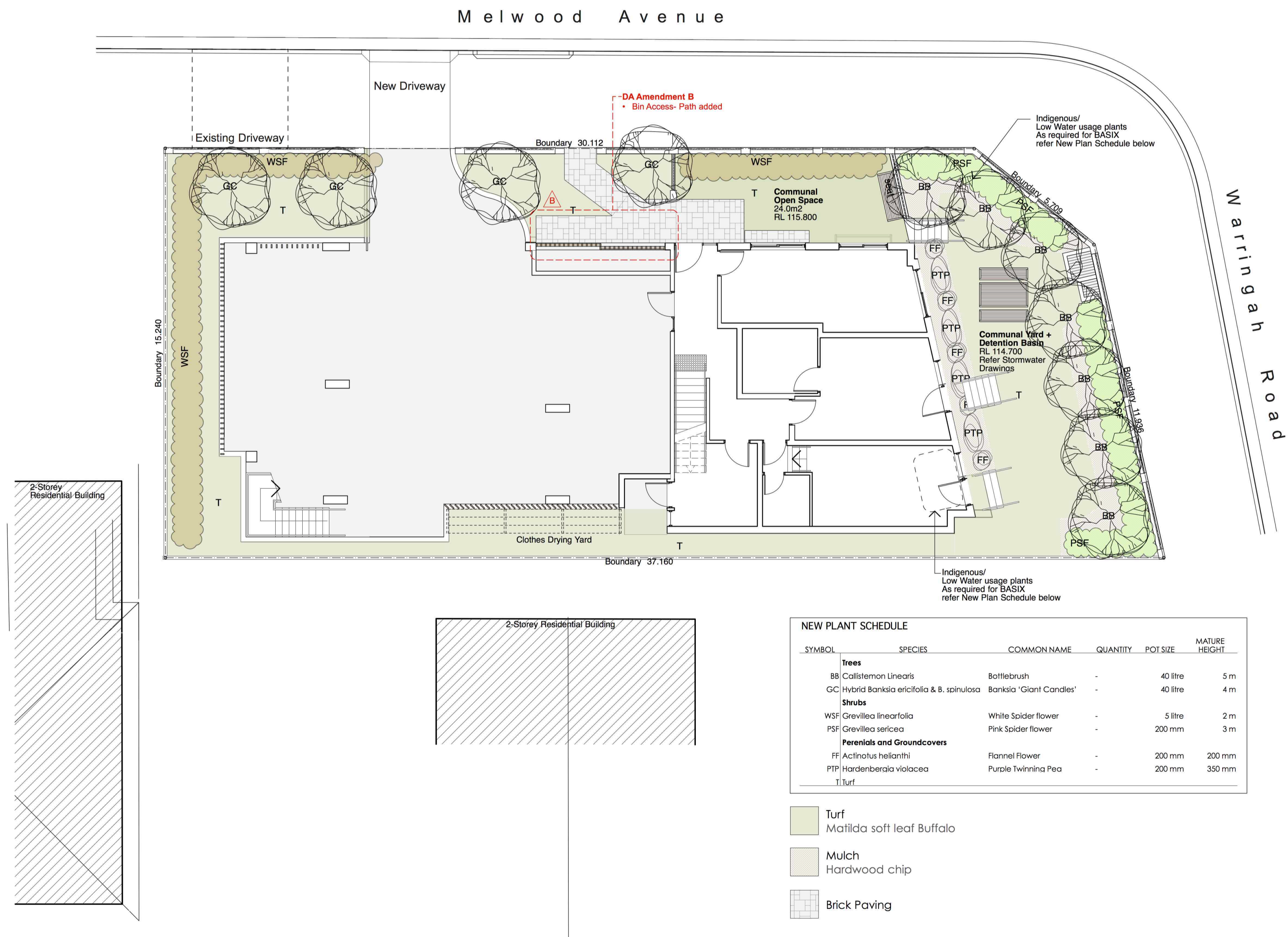
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**NEW PLANT SCHEDULE**

SYMBOL	SPECIES	COMMON NAME	QUANTITY	POT SIZE	MATURE HEIGHT
<b>Trees</b>					
BB	Callistemon Linearis	Bottlebrush	-	40 litre	5 m
GC	Hybrid Banksia ericifolia & B. spinulosa	Banksia 'Giant Candles'	-	40 litre	4 m
<b>Shrubs</b>					
WSF	Grevillea linearifolia	White Spider flower	-	5 litre	2 m
PSF	Grevillea sericea	Pink Spider flower	-	200 mm	3 m
<b>Perennials and Groundcovers</b>					
FF	Actinotus helianthi	Flannel Flower	-	200 mm	200 mm
PTP	Hardenbergia violacea	Purple Twinning Pea	-	200 mm	350 mm
T	Turf				

- Turf  
Matilda soft leaf Buffalo
- Mulch  
Hardwood chip
- Brick Paving

**1 Landscape Plan**  
Scale: 1:100 @ A1

issue	date	Revision	by
B	7/4/20	Amendments as noted issued to Council	DS
A	9/12/19	Development Application	DS

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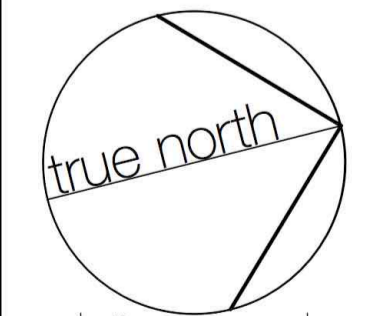
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project  
New Age Boarding House

741 Warringah Rd, Forestville  
drawing title  
**Landscape Plan**



job no : 18\_16  
cad file : 18\_16 DA02 DA Drawings v2020.wxd  
date : November 2019  
drawn / checked by : DS / JM  
scale at A1 : As Noted

**DA005** B

northern beaches council

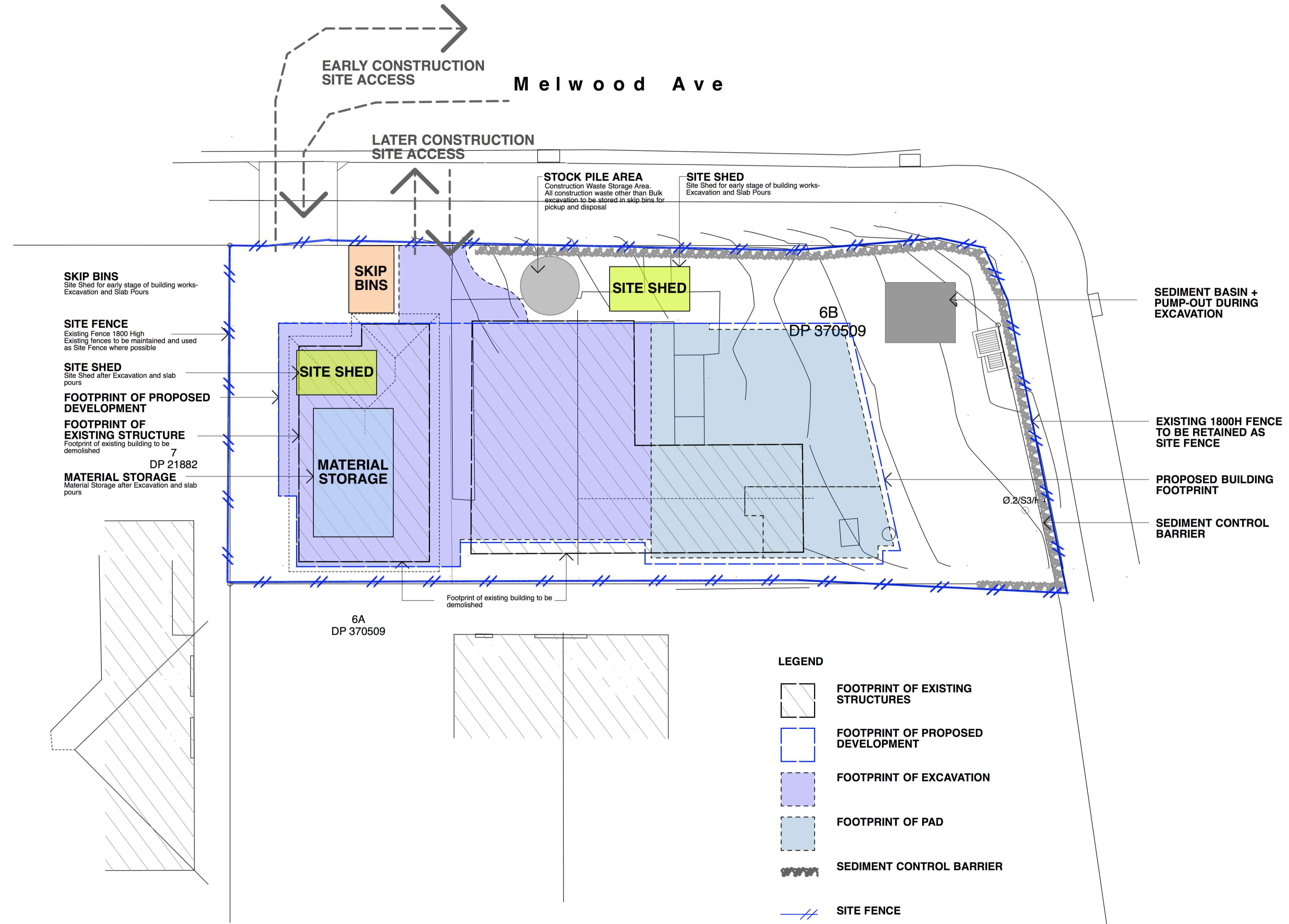
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**SKIP BINS**  
Site Shed for early stage of building works- Excavation and Slab Pours

**SITE FENCE**  
Existing Fence 1800 High Existing fences to be maintained and used as Site Fence where possible

**SITE SHED**  
Site Shed after Excavation and slab pours

**FOOTPRINT OF PROPOSED DEVELOPMENT**

**FOOTPRINT OF EXISTING STRUCTURE**  
Footprint of existing building to be demolished

**MATERIAL STORAGE**  
Material Storage after Excavation and slab pours

- LEGEND**
- FOOTPRINT OF EXISTING STRUCTURES
  - FOOTPRINT OF PROPOSED DEVELOPMENT
  - FOOTPRINT OF EXCAVATION
  - FOOTPRINT OF PAD
  - SEDIMENT CONTROL BARRIER
  - SITE FENCE

**1** Construction Management Plan  
Scale: 1:100 @ A1

0 1 2 3 4 5 6 7 8 9 10 M

issue	date	Revision	by
A	9/12/19	Development Application	DS

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project New Age Boarding House  
741 Warringah Rd, Forestville  
drawing title **Construction Management Plan**

job no: 18.16  
cad file: 18.16 DA02 DA Drawings.wrx  
date: November 2019  
drawn / checked by: DS / JM  
scale at A1: As Noted

**DA006** A

true north

# GENERAL NOTES

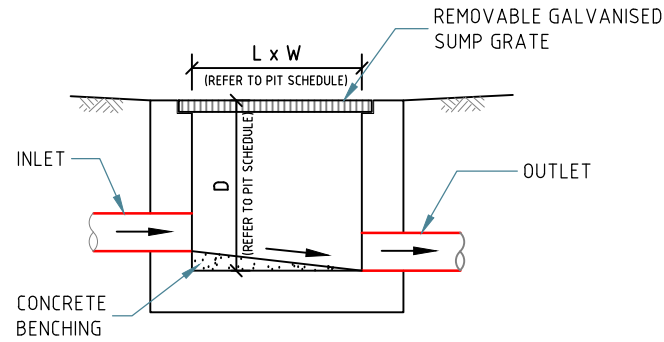
1. THE PLUMBER/ DRAINER SHALL INSPECT THE SITE AND CONFIRM THE EXISTING SITE STRUCTURES, SERVICES AND CONDITIONS PRIOR TO PROCEEDING. IF ANY DISCREPANCIES FOUND, CONTACT THE ENGINEER FOR DISCUSSION.
2. ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, BUILDING CODE OF AUSTRALIA AND LOCAL GOVERNMENT'S REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE PLUMBER/ DRAINER TO OBTAIN ANY APPROVALS/ PERMITS/ LICENSES ISSUED BY THE AUTHORITIES PRIOR TO PROCEEDING WITH STORMWATER WORKS.
3. UNLESS NOTED AS OTHERWISE, ALL DOWNPIPES TO BE  $\phi 100$  ROUND (OR 100x75 RECTANGULAR) AND FULLY SEALED; ALL STORMWATER PIPES TO BE  $\phi 100$  SEWER GRADE AND LAID AT 1% MIN. FALL. ALL MATERIALS USED IN THE WORK SHALL BE NEW AND CONFORM WITH RELEVANT AUSTRALIAN STANDARDS AND BEAR THE REQUIRED STANDARDS MARK.
4. LOCATION OF STORMWATER SYSTEMS, INCLUDING DOWNPIPES, PIPES, PITS AND RAINWATER TANK ARE INDICATIVE ONLY. EXACT LOCATION SHALL BE DETERMINED ON SITE TO SUIT SITE CONDITIONS.
5. SUB-SOIL DRAINS FOR RETAINING WALL SHALL BE INSTALLED BY THE BUILDER AND CONNECTED TO STORMWATER LINES. ALL AGG. LINES SHALL BE 100mm DIA., UNLESS NOTED OTHERWISE.
6. NATURAL GROUND LEVELS ALONG ALL BOUNDARIES MUST BE MAINTAINED UNALTERED. ALL RETAINING WALLS TO BE SETBACK FROM BOUNDARIES TO AVOID CONCENTRATION OF STORMWATER FLOWS.
7. LEVELS ARE APPROXIMATE ONLY. THE PLUMBER/ DRAINER SHALL CONFIRM THE LEVELS PRIOR TO PROCEEDING. IF ANY DISCREPANCIES FOUND, CONTACT THE ENGINEER FOR DISCUSSION.
8. INSPECTION AND CERTIFICATION, IF REQUIRED, SHALL BE DONE PRIOR TO BACKFILLING. ALLOW 24 HOUR NOTICE FOR THE ENGINEER TO CARRY OUT INSPECTION.
9. ANY DAMAGE TO SERVICES DURING CONSTRUCTION SHALL BE REPAIRED IMMEDIATELY AT THE PLUMBER/ DRAINER'S OWN EXPENSE.
10. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH:
  - ARCHITECTURAL PLAN BY MACPHAIL & SPROUL ARCHITECTS, JOB No. 18.06, ISSUE 1, DATED JUNE 2018.

## BASIX REQUIREMENTS

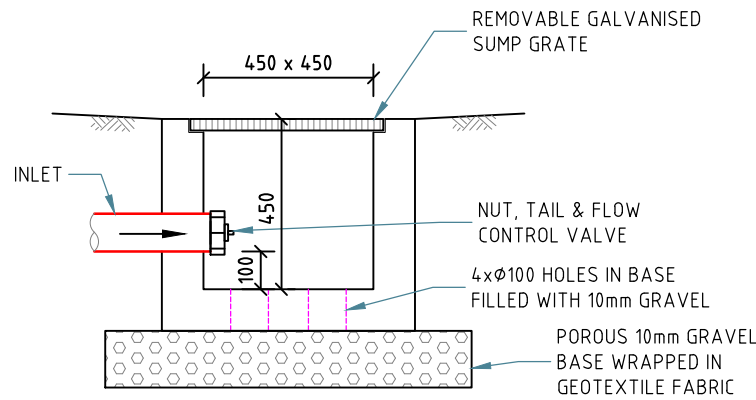
THERE IS NO COMMITMENT ON RAINWATER REUSE FOR THIS PROJECT AS PART OF BASIX CERTIFICATE.

## OSD REQUIREMENTS

SITE AREA = 533.50m<sup>2</sup>  
 POST DEVELOPMENT IMPERVIOUS AREA = 302.26m<sup>2</sup>  
 (56.65% OF SITE AREA)  
 SSR = 200x0.05335 = 10.67m<sup>3</sup>  
 ADJUST SSR = 1.2x10.67 = 12.804m<sup>3</sup>  
 PSD = 400x0.05335 = 21.34 L/s



**GRADED PIT DETAILS**  
SCALE 1:20

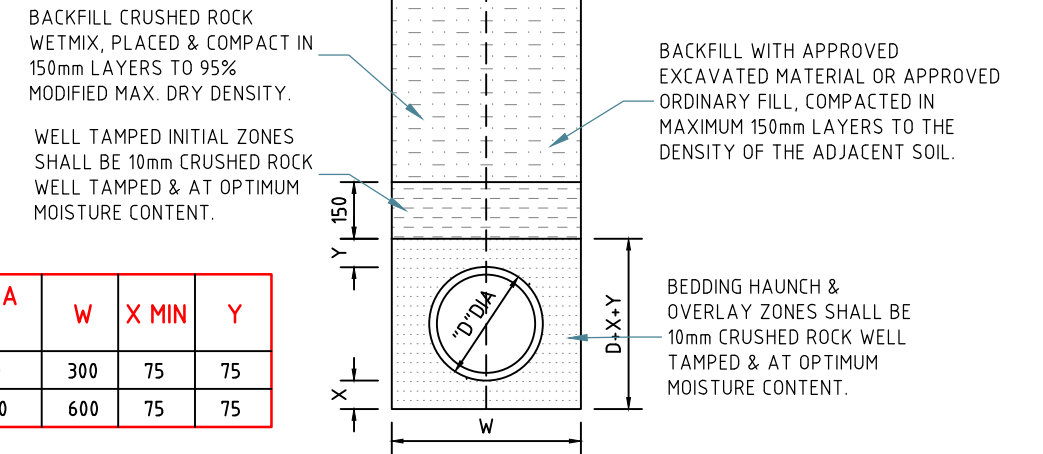


**CLEAN-OUT/FIRST FLUSH PIT DETAILS**  
SCALE 1:20

MINIMUM PIPE COVER (FROM FINISHED SURFACE TO TOP OF PIPE)		
LOCATION	MINIMUM COVER (mm)	
	CAST/DUCTILE IRON GAL STEEL	OTHER AUTHORISED PRODUCTS (-)
1. NOT SUBJECT TO VEHICULAR LOADING: A. WITHOUT PAVEMENT i. FOR SINGLE DWELLING ii. OTHER THAN SINGLE DWELLING B. WITH PAVEMENT OF BRICK/UNREINFORCED CONCRETE	0	100
	0	300
	0(~~)	50(~~)
	0(~~#)	75(~~#)
2. SUBJECT TO VEHICULAR LOADING: A. OTHER THAN ROAD: i. WITHOUT PAVEMENT ii. WITH PAVEMENT OF: - REINFORCED CONC. FOR HEAVY VEHICLE - BRICK/UNREINF. CONC. LIGHT VEHICLE B. ROAD i. SEALED ii. UNSEALED	300	450
	0(~~#)	100(~~#)
	0(~~#)	75(~~#)
	300	500(#)
300	500(#)	
3. SUBJECT TO CONSTRUCTION VEHICLE OR IN ENBANKMENT CONDITION	300	500(#)

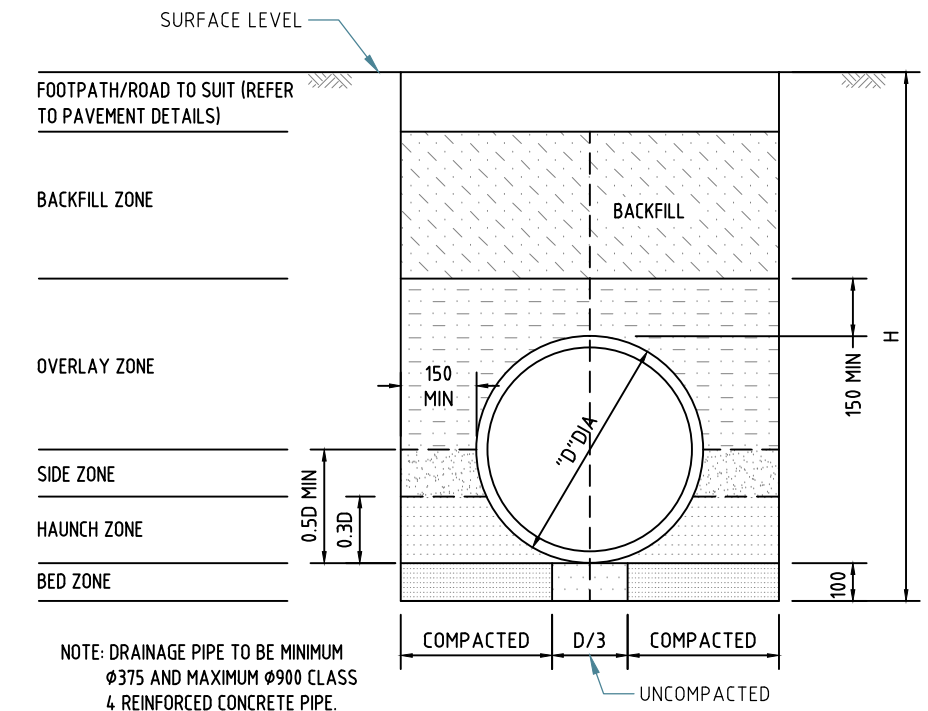
(-) INCLUDES OVERLAY ABOVE THE TOP OF THE PIPE OF NOT LESS THAN 50mm THICK  
 (~~) BELOW THE UNDERSIDE OF THE PAVEMENT  
 (#) SUBJECT TO COMPLIANCE WITH AS1762, AS2033, AS/NZS2566.1, AS3725 OR AS4060

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**DIAL 1100 BEFORE YOU DIG**



PIPE DIA "D"	W	X MIN	Y
100-150	300	75	75
225-300	600	75	75

**UPVC PIPE TRENCH BACKFILL TYP. DETAILS**  
SCALE 1:20



**CONCRETE PIPE TRENCH BACKFILL TYP. DETAILS**  
SCALE 1:20

Paper size: A3  
 All dimensions are in millimetres. Do not scale the drawing. Use written dimensions. Dimensions must be confirmed prior to commencement. Location of services are approximate only. Dial 1100 before any excavation or demolition.

Revisions	
Original issue	
Designed: HL	Checked: HN

Approved:  
  
 Quoc Huy Nguyen  
 PhD (Eng), MIEAust, CPEng,  
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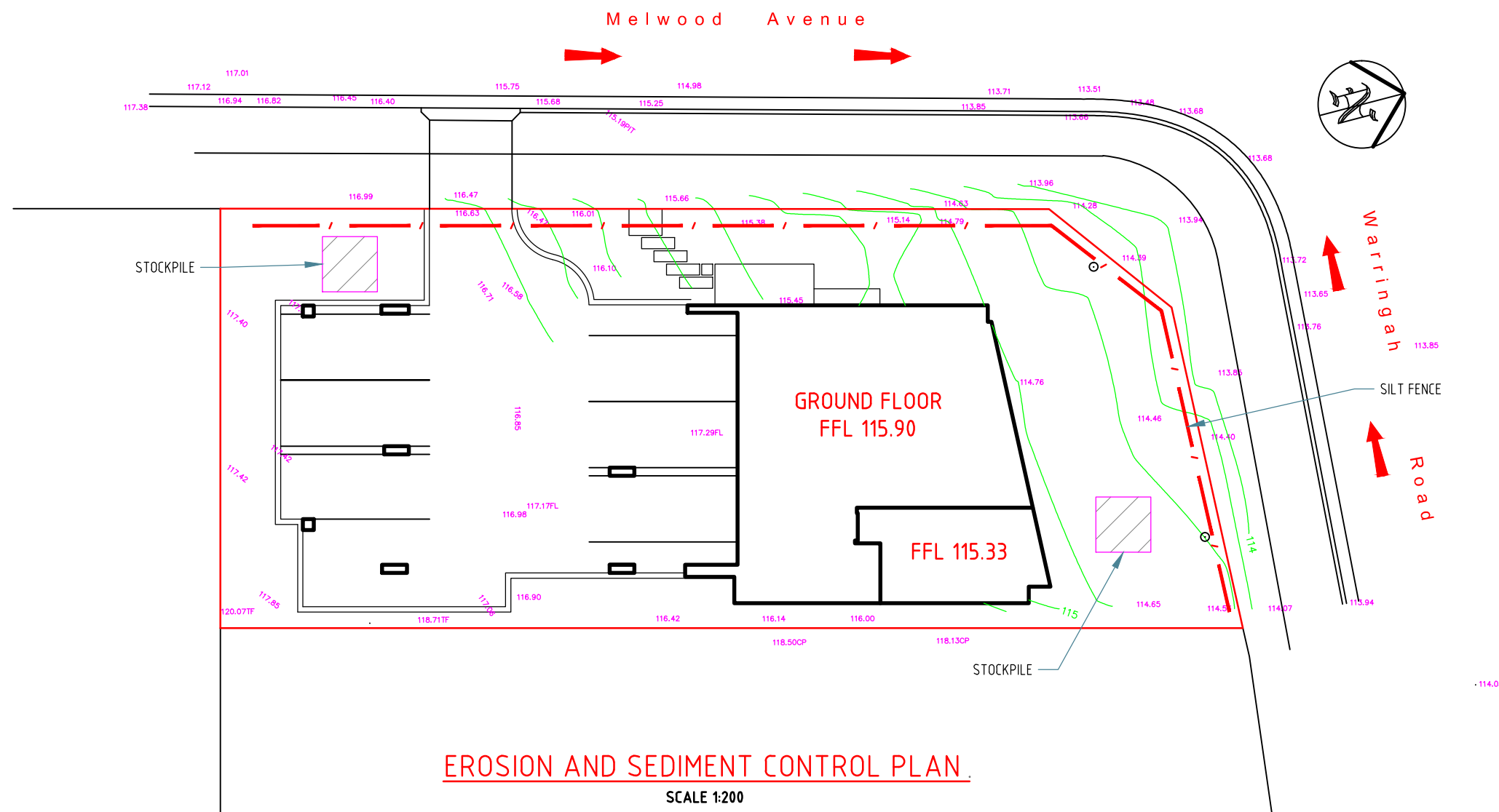
PROJECT: PROPOSED BOARDING HOUSE  
 ADDRESS: 741 WARRINGAH ROAD, FORESTVILLE  
 LGA: NORTHERN BEACHES COUNCIL  
**NOTES & STANDARD DETAILS**  
 Project No: 3843H Issue: A Date: 26.06.2019 Sheet No: 1 of 4



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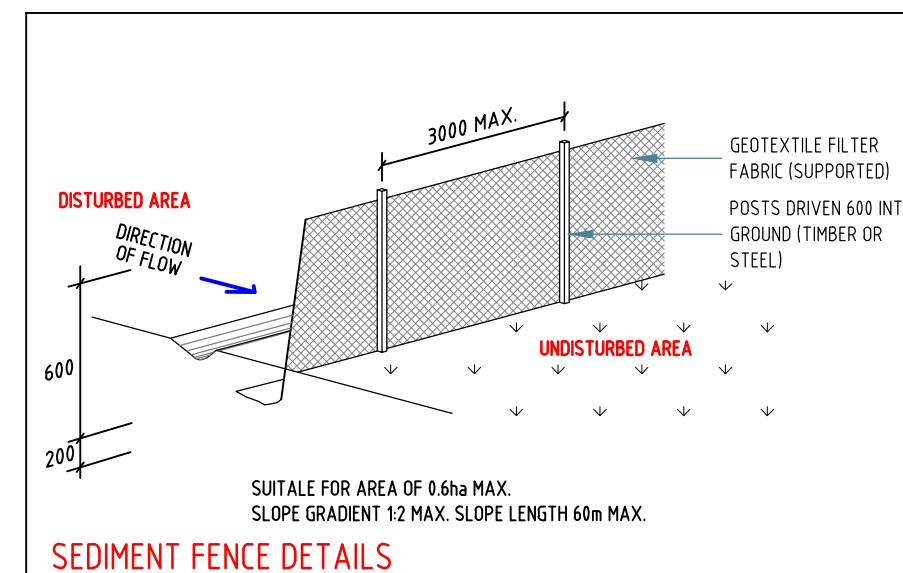


**EROSION AND SEDIMENT CONTROL PLAN**

SCALE 1:200

**NOTES:**

1. ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED DAILY BY SITE MANAGER
2. MINIMISE DISTURBED AREA
3. ALL STOCKPILES TO BE CLEAR FROM DRAINS, GUTTERS AND FOOTPATH
4. DRAINAGE IS TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE
5. ROADS AND FOOTPATH TO BE SWEEPED DAILY
6. KERB SIDE INLET TO BE PROTECTED WITH FABRIC FILLED WITH GRAVEL



Paper size: **A3**  
 All dimensions are in millimetres. Do not scale the drawing. Use written dimensions. Dimensions must be confirmed prior to commencement. Location of services are approximate only. Dial 1100 before any excavation or demolition.

Revisions	
Original issue	
Designed: HL	Checked: HN

Approved:  
  
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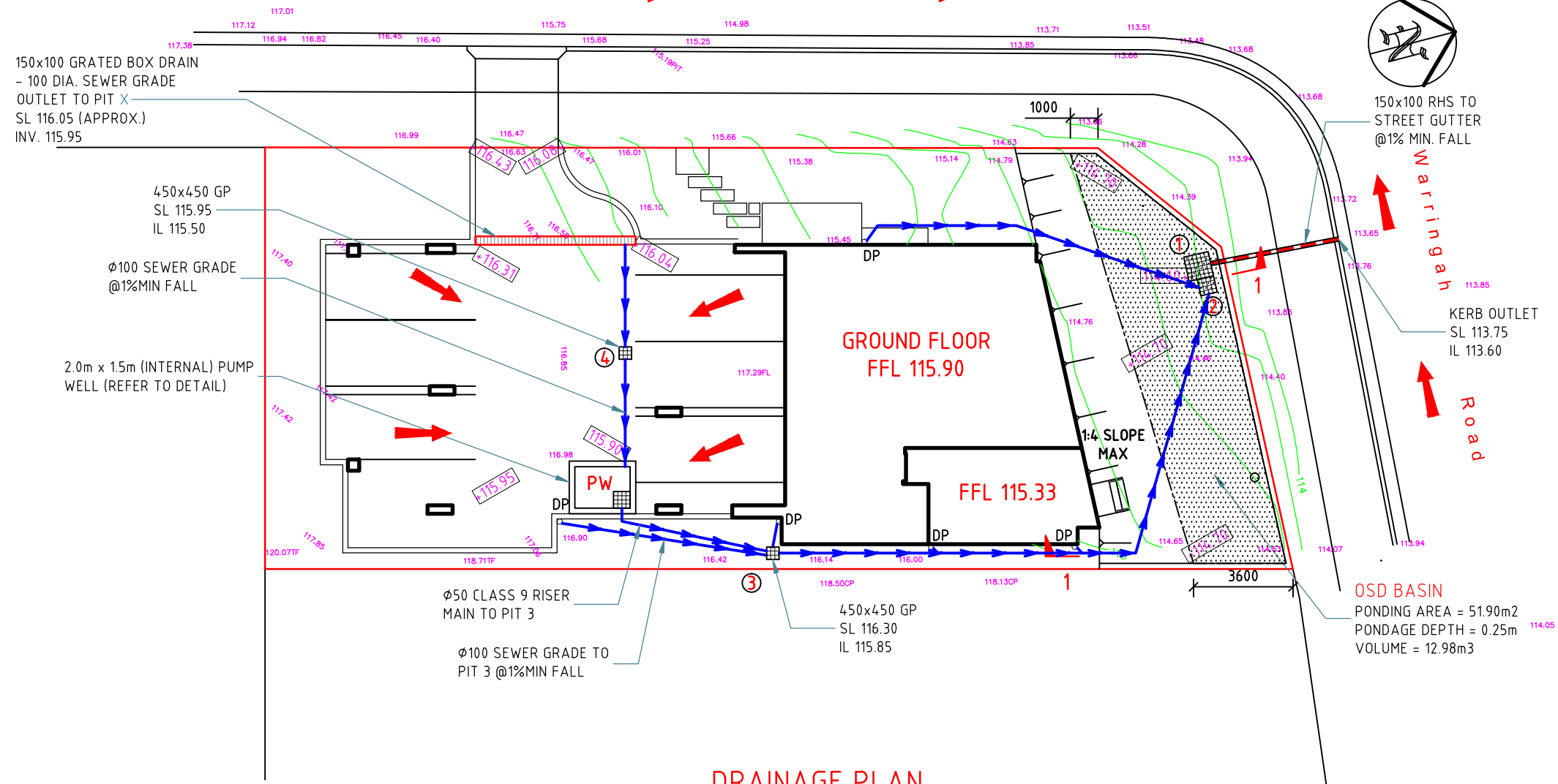
PROJECT: PROPOSED BOARDING HOUSE  
 ADDRESS: 741 WARRINGAH ROAD, FORESTVILLE  
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**EROSION & SEDIMENT CONTROL PLAN**

Project No: 3843H Issue: A Date: 26.06.2019 Sheet No: **2** of 4



Melwood Avenue



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**DADA2019/1481**

**DRAINAGE PLAN**  
SCALE 1:200

**LEGEND:**

DP	DOWNPIPE
GP	GRATED PIT
SP	SILT ARRESTOR PIT
CP	CLEAN-OUT PIT
SL	SURFACE LEVEL
IL	INVERT LEVEL
KO	KERB OUTLET
	225x100 GRATED BOX DRAIN
	ROOF- WATER PIPELINE
	SURFACE- WATER PIPELINE
	CLEAN- OUT PIPELINE
	SURFACE RUNOFF DIRECTION
	EARTH-MOUND SWALE OR DISH DRAIN
	EXISTING GROUND CONTOUR
	PROPOSED GROUND LEVEL
	100 DIA. YARD SUMP OR 250 SQ. GRATED PIT

Paper size: **A3**

All dimensions are in millimetres. Do not scale the drawing. Use written dimensions. Dimensions must be confirmed prior to commencement. Location of services are approximate only. Dial 1100 before any excavation or demolition.

Revisions	
Original issue	
Designed: HL	Checked: HN

Approved:

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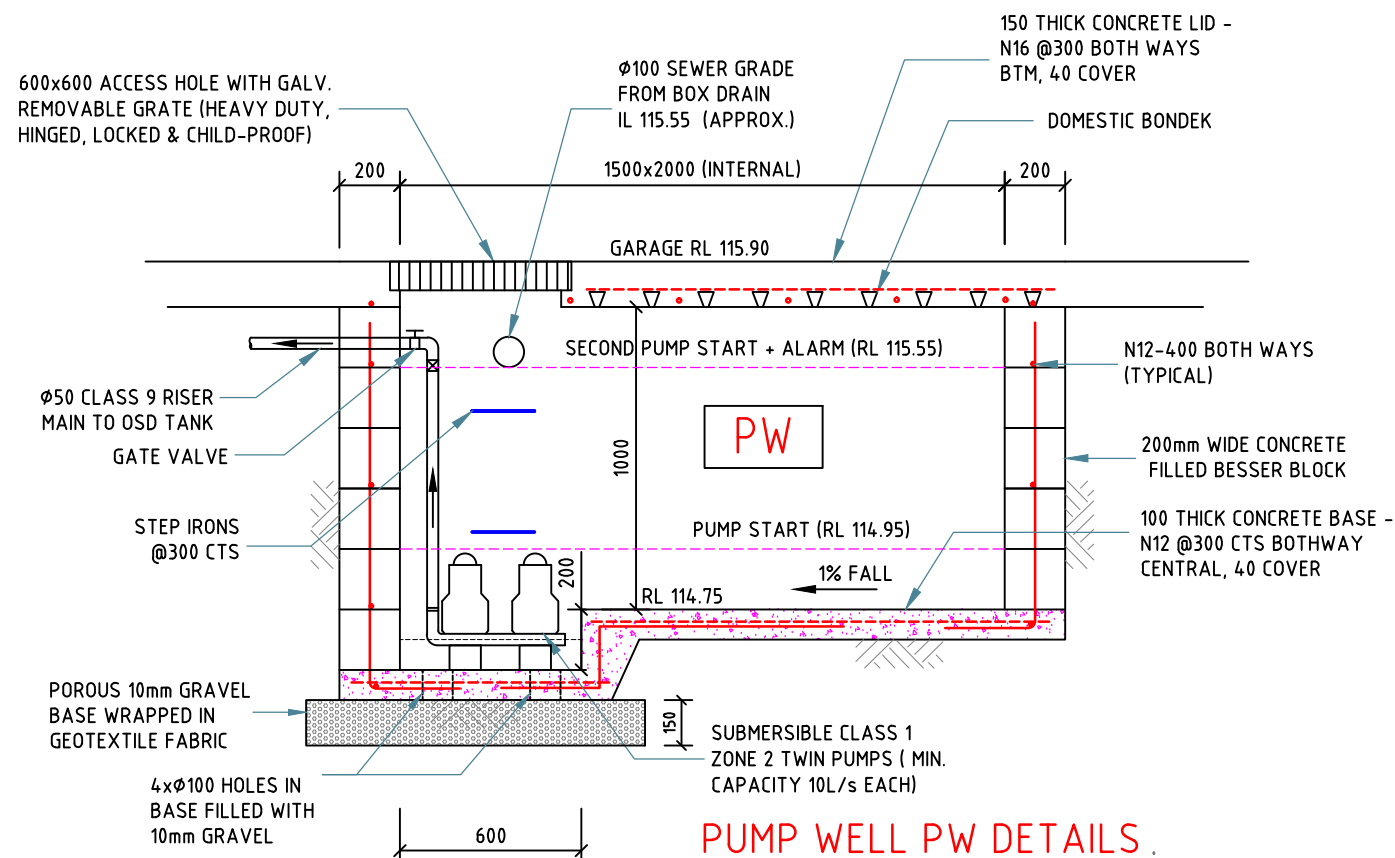
**DRAINAGE PLAN**

Project No: 3843H Issue: A Date: 26.06.2019 Sheet No: **3** of 4



**THIS PLAN IS TO BE READ IN CONJUNCTION WITH THE CONDITIONS OF DEVELOPMENT CONSENT**

**DADA2019/1481**

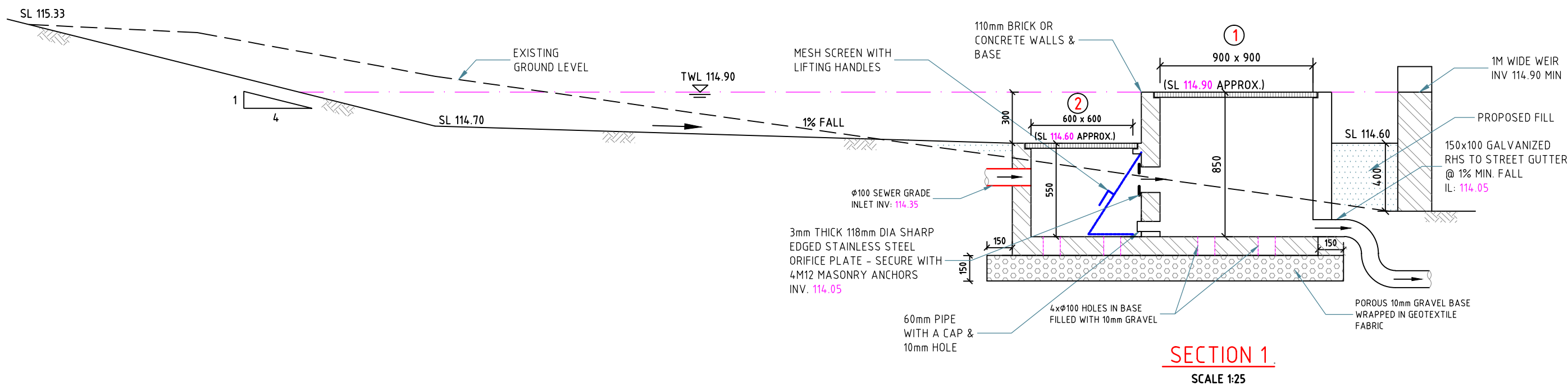


Orifice Plate Discharge Calculation :

$$Q_{max} = AC_d \sqrt{2gh} \Rightarrow A = \frac{Q_{max}}{C_d \sqrt{2gh}}$$

Q <sub>max</sub> =	0.02 (m <sup>3</sup> /s)
h =	0.45 (m)
C <sub>d</sub> =	0.61
g =	9.8 m/s <sup>2</sup>
A =	0.011 m <sup>2</sup>

$$\text{Orifice Diameter} = D = \sqrt{\frac{A \times 4}{\pi}} = 118.562 \text{ (m)}$$



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**PUMP & OSD DETAILS**  
 Project No: 3843H Issue: A Date: 26.06.2019 Sheet No: **4** of 4