

KALLIOS DEVELOPMENT

LOT 48 LIBERATOR WAY,
WALLAROO SHORES
S.A. 5556



FOR CERTIFICATION ONLY



3D VIEW 1



3D VIEW 2

AMENDMENTS			
Rev	Date	Description	Drawn
A	14.03.23	PLANNING ISSUE	C.I.
B	24.03.23	DEKTON BLADE WALL	C.I.
C	24.04.23	ENCUMBRANCE RFI	C.I.
D	19.06.23	COUNCIL RFI	C.I.
E	31.07.23	CONSULTANT ISSUE	C.I.
F	21.11.23	MINOR CHANGES	C.I.
G	31.01.24	CERTIFIER ISSUE	C.I.
H	14.02.24	CERTIFIER RFI	C.I.

SPECTR

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2188

PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT
AT:
LOT 48 LIBERATOR WAY,
WALLAROO SHORES

CLIENT
M. & D. KALLIOS

DRAWN
CI

DATE
MARCH 2023

SCALE
AS SHOWN

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PROJECT No.
16.2023

SHEET No.
PA 01 OF 24

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE DESIGNERS IMMEDIATELY

GENERAL NOTES

PROPOSED BUILDING IS TO BE CONSTRUCTED OF HEBEL VENEER CONSTRUCTION COMPRISING OF 75mm THK. HEBEL POWER PANEL, 25mm CAVITY AND 90mm TIMBER STUD WALL TO GROUND AND UPPER LEVEL; BOTH LEVELS LINED WITH 10mm PLASTERBOARD WALL LINING. VILLABOARD TO WET AREAS.

ALL EXPOSED TIMBER MEMBERS AND FIXINGS ARE TO BE ADEQUATELY TREATED WITH PRESERVATIVE IN ACCORDANCE WITH AS 1604

VERIFY ALL FINISHED LEVELS BEFORE THE COMMENCEMENT OF ANY BUILDING WORK.

TERMITE PROTECTION SHALL COMPLY WITH AS3660.1. PROVIDE CERTIFICATE IN ACCORDANCE WITH AS3660.1 STATING METHOD OF APPLICATION AND CERTIFICATE OF COMPLETION.

ROOF CONTRACTOR SHALL PROVIDE ALL NECESSARY FLASHINGS, CAPPINGS AND OTHER ITEMS REQUIRED TO MAKE THE ROOF WATERTIGHT AND COMPLETE.

BUILDER TO CHECK AND CONFIRM ALL SITE AND SET OUT DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

ALL GLAZING TO COMPLY WITH AS 1288-2021
ALL GLAZING IS TO BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH AS 1288.1

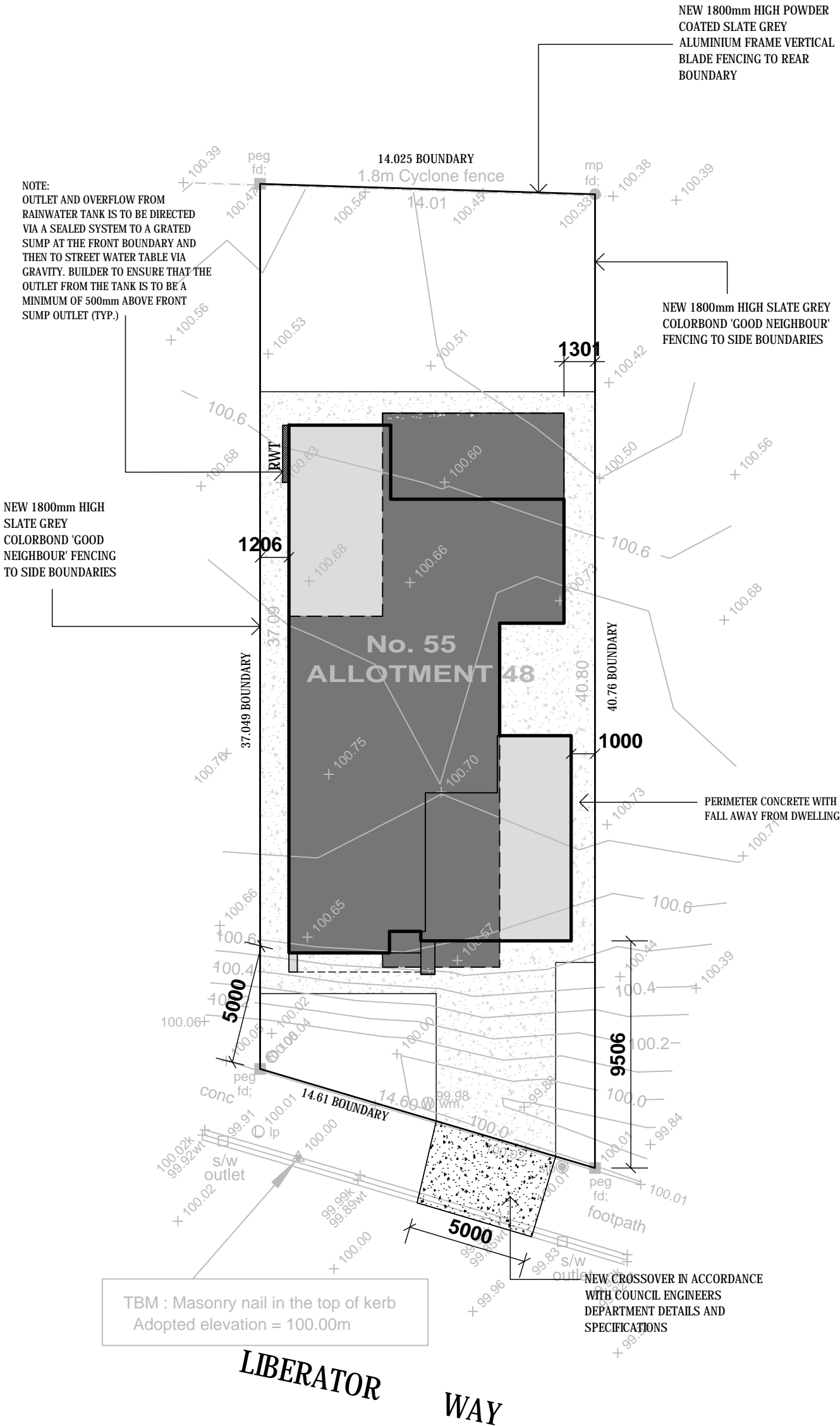
ALL SANITARY, PLUMBING, DRAINAGE & ELECTRICAL WORK TO BE CARRIED OUT BY FULLY QUALIFIED AND LICENSED TRADESPERSONS.

ALL ELECTRICAL WORK CARRIED OUT, TO BE IN ACCORDANCE WITH AS 3000.

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS, DOCUMENTS, SCHEDULES AND SPECIFICATIONS

ALL STEEL WORK TO COMPLY WITH BCE.C & C.GART 3.4.2.

WATERPROOFING OF WET AREAS WILL BE IN ACCORDANCE WITH AS3740-2021 & 10.2.12 OR PART 10.2.7 TO 10.2.32 OF ABCB HOUSING PROVISIONS (INCLUDING SA 10.2.1 AND SA 10.2.33)

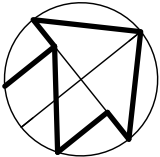


SITE PLAN

SCALE 1:200

STORMWATER TO BE IN ACCORDANCE WITH ENGINEERS DETAILS & RECOMMENDATIONS AND DIRECTED TO STREET WATER TABLE IN 90MM Ø PVC STORMWATER PIPE

SITE STORMWATER DRAINAGE WILL BE CONSTRUCTED IN ACCORDANCE WITH AS/NZS 3500.3 – 2018 INCLUDING:
• PROVIDE SUMPS WITH OVERFLOWS TO FRONT BOX GUTTERS



AREAS :

LOWER LIVING	172.23
UPPER LIVING	165.18
GARAGES	45.28
BALCONY	27.32
ALFRESCO	26.27
PORCH	1.17
TOTAL	437.45 SQ.M.
SITE	545.30 SQ.M.
POS	203.91 SQ.M.
SITE COVER	44.92 %
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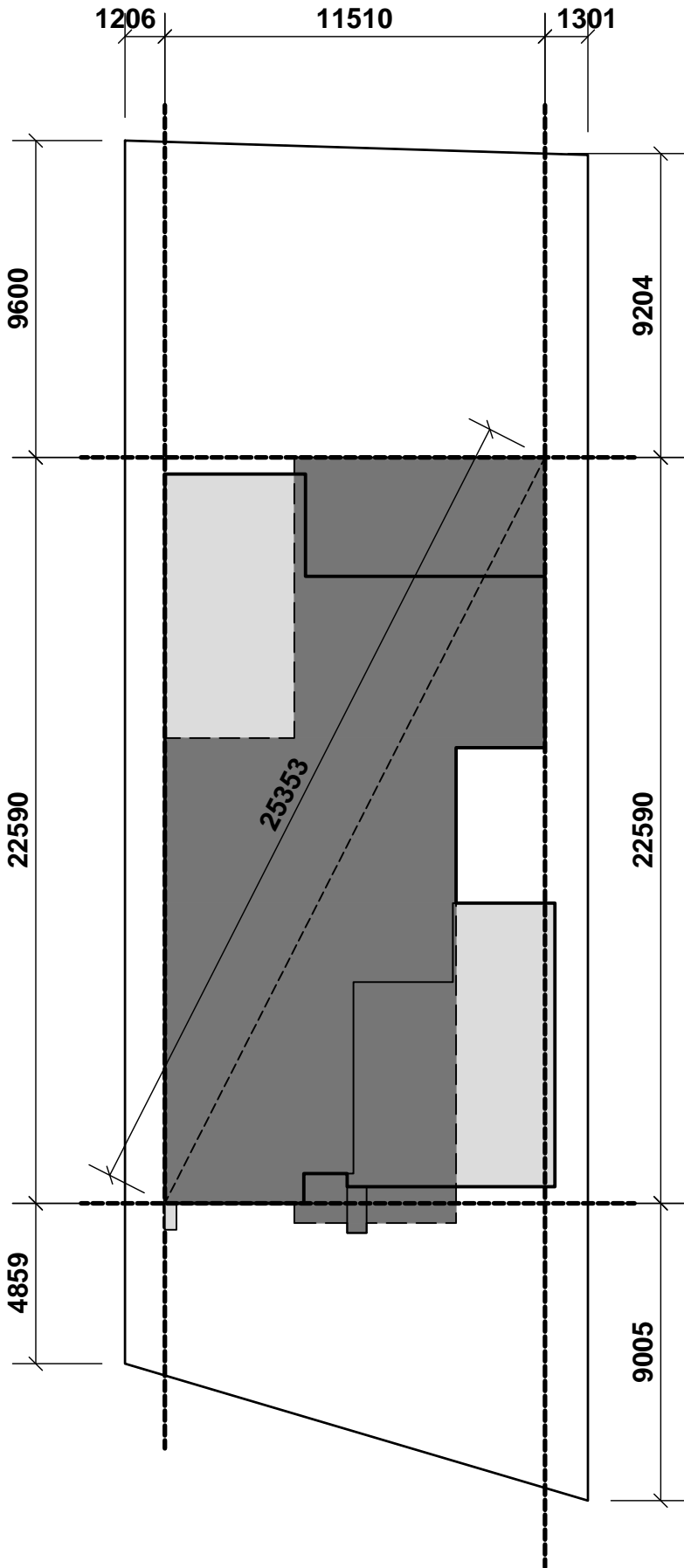
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SQUARE SETOUT PLAN

SCALE 1:200

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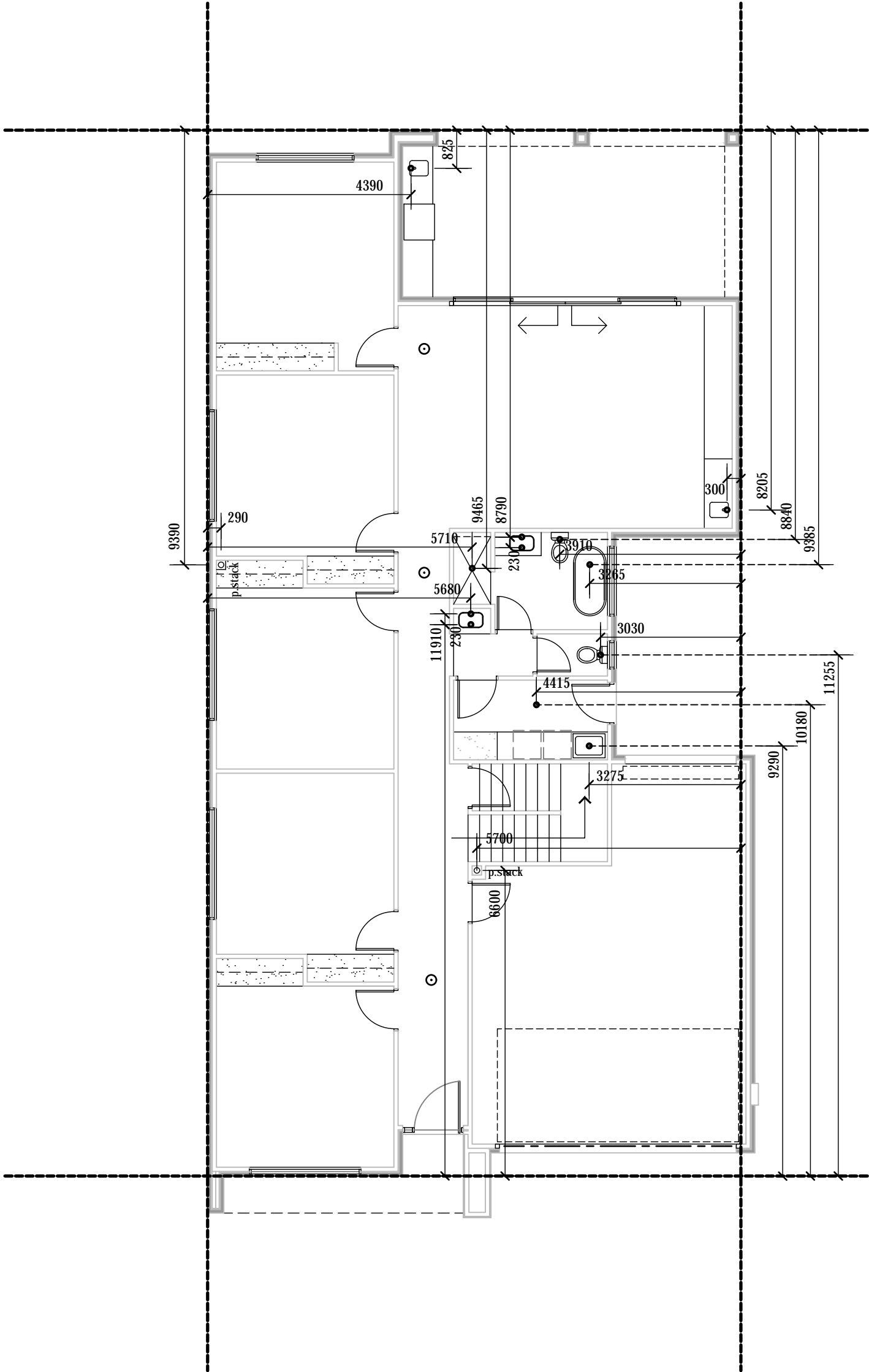
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GROUND FLOOR PLUMBING

SCALE 1:100

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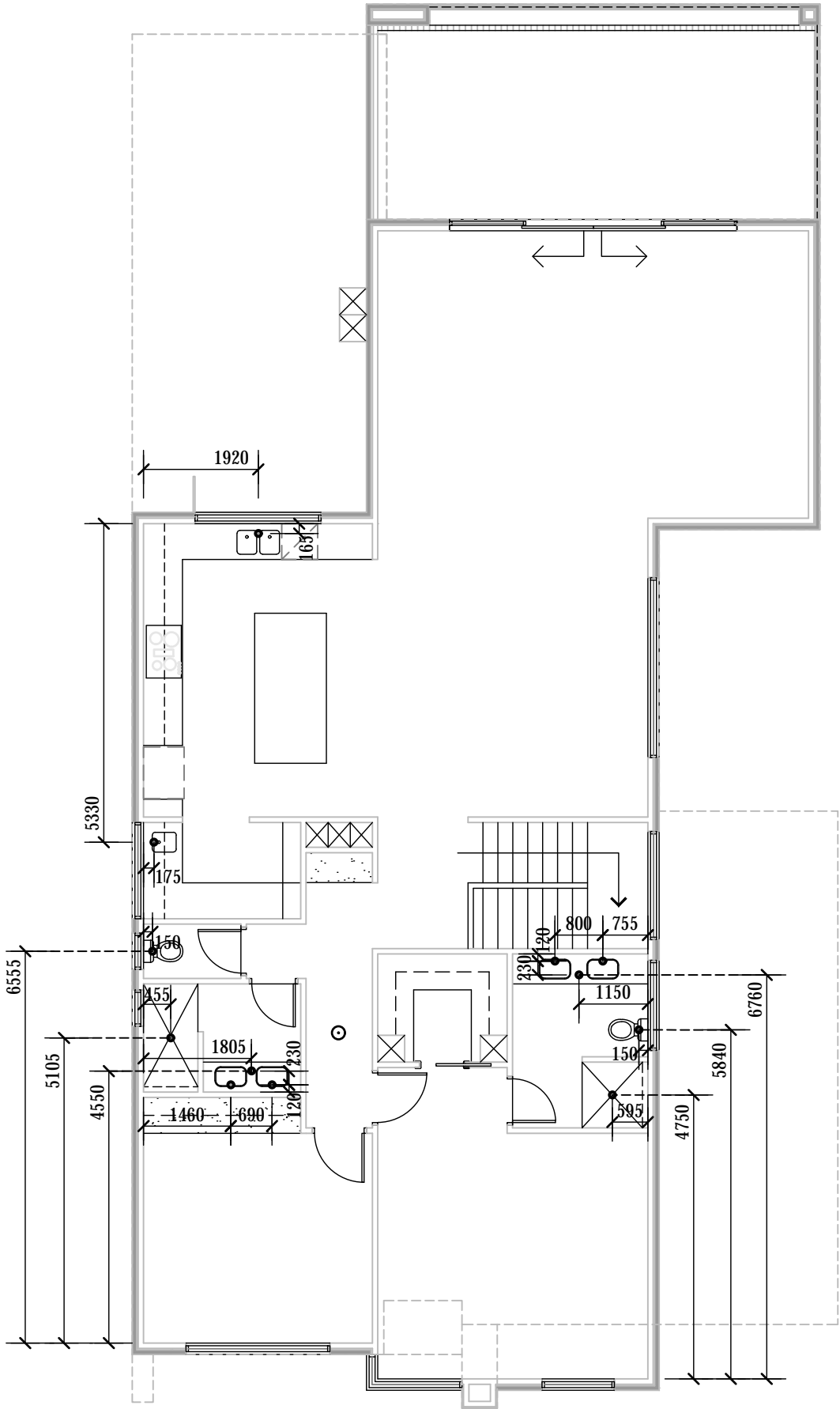
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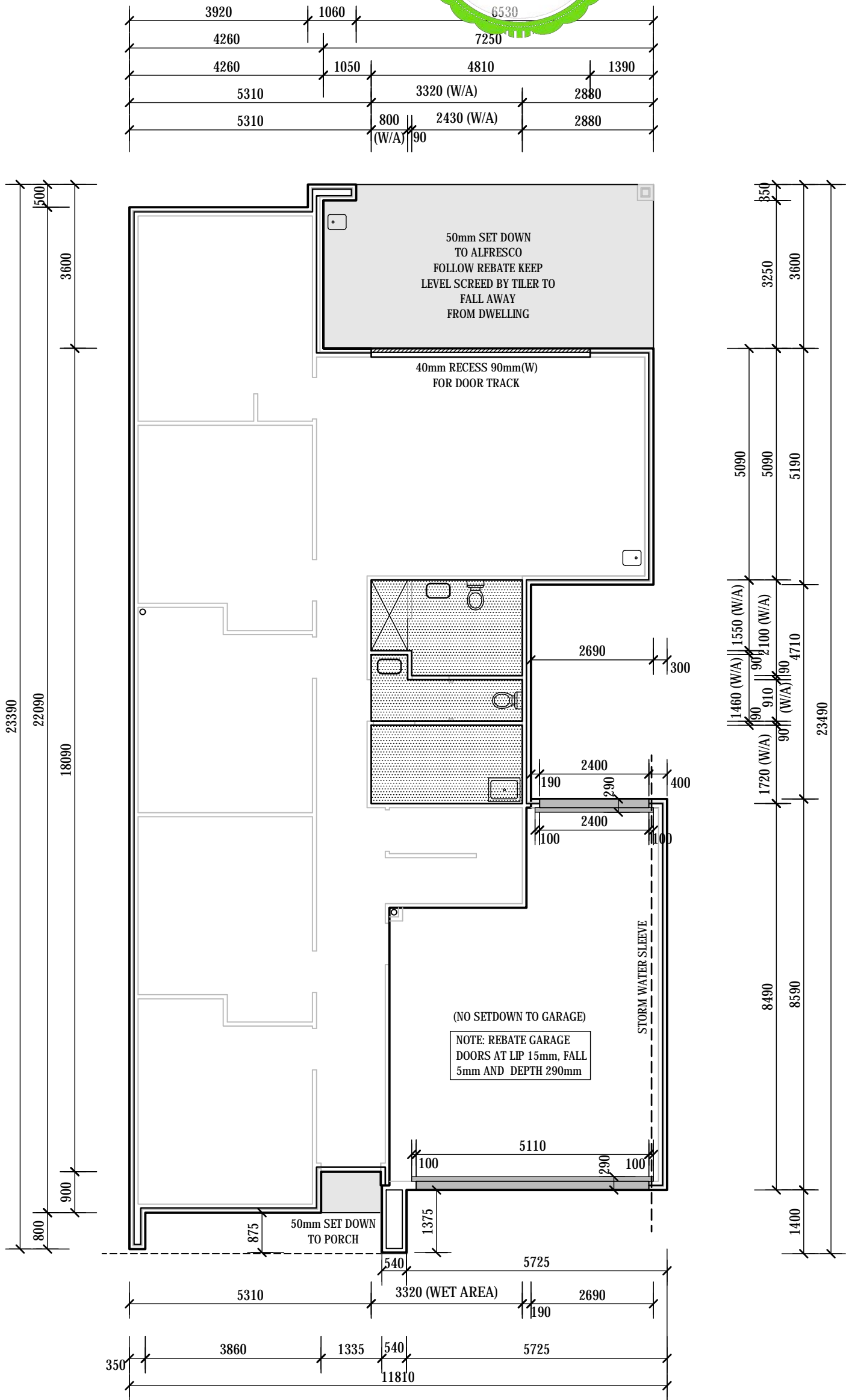
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UPPER FLOOR PLUMBING

SCALE 1:100



TERMITE NOTE:
 TERMITE RISK MANAGEMENT IS TO COMPLY WITH PART 3.1.4 BCA 2019 WHERE THE CONCRETE SLAB ON GROUND OF A TERMITE BARRIER IS TO BE AS PART SYSTEM, THE SLAB MUST BE DESIGNED & CONSTRUCTED TO COMPLY WITH AS 2870-2011

SLABS MUST HAVE PENETRATIONS, CONTROL JOINTS AND THE PERIMETER PROTECTED

THE SLAB ON GROUND MAY BE USED AS PERIMETER PROTECTION PROVIDED THAT THE SLAB IS EXPOSED 75 mm ABOVE FINISHED GROUND LEVEL AND THE SLAB EDGE DOES NOT HONEYCOMBED, ROUGH OR CONTAIN RIPPLES

CHEMICAL TERMITICIDE TO UNDERSIDE OF CONCRETE SLAB IN ACCORDANCE WITH AS 3660.1-2014 (BIFLEX OR SIMILAR) OR STAINLESS STEEL MESH BARRIER EITHER FULL OR PARTIAL PROTECTION TERMIMESH OR SIMILAR) OR GRADED STONE BARRIER OR KORDON TERMITE BARRIER

NOTE: BUILDER TO SELECT IN CONSULTATION WITH OWNER

CONCRETOR'S NOTE:
 ALLOW FOR SUB-FLOOR STORMWATER PIPES PRIOR TO POURING OF SLAB.

86mm EDGE REBATE TO PERIMETER OF HOUSE.

FOOTING EDGE IS TO BE EXPOSED A MINIMUM OF 75mm ABOVE PAVING LEVEL OR ALTERNATIVE PERIMETER TERMITE TREATMENT IS REQUIRED.

ALLOW FOR POWER CONDUIT TO DISHWASHER IN ISLAND BENCH

WET AREA NOTES:
 SET DOWN WET AREAS 45mm. SCREED WITH REQUIRED FALL TO FLOOR TRAP
 THE FLOOR OF A WET AREA CONTAINING A VESSEL MUST BE GRADED TO FLOOR WASTE UNLESS ALL VESSELS ARE PROVIDED WITH IN-BUILT OVERFLOW PROTECTION OR HAVE PERMANENT OPEN TRAPPED CONNECTION TO THE PLUMBING IN ACCORDANCE WITH SA 10.2.33.

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CONCRETE PLAN

SCALE 1:100

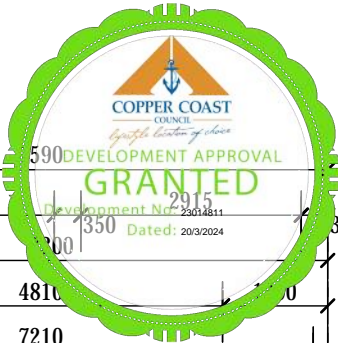
REINFORCED CONCRETE FOOTING AND
 SLAB SYSTEM AS PER ENGINEERS
 DESIGN AND DETAILS.

BUILDING RULES CONSENT
IF THE DEVELOPMENT IS
IN A COASTAL AREA, THE
FOLLOWING CORROSION
TREATMENT IS REQUIRED:

MASONRY VENEER IS TO BE
CONSTRUCTED USING STAINLESS STEEL
WALL TIES & HOT DIP GALVANISED
LINTELS.

STRUCTURAL STEEL IS TO BE PROVIDED
WITH A PROTECTIVE COATING IN
ACCORDANCE WITH TABLE 6.3.9A, 6.3.9B
& 6.9.3C OF THE ABCB HOUSING
PROVISIONS

METAL ROOF SHEETING IS TO BE
PROVIDED WITH A METAL COATING IN
ACCORDANCE WITH TABLE 7.2.2A OF THE
ABCB HOUSING PROVISIONS



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FIRE APPLIANCE WILL BE GAS OR IF A COMBUSTION HEATER IT WILL BE INSTALLED IN ACCORDANCE WITH AS/NZS2918.

ANY SARKING TYPE MATERIALS USED IN THE ROOF IS TO ACHIEVE A FLAMMABILITY INDEX NOT GREATER THAN 5.

PROVISIONS FOR THE MANAGEMENT OF RISKS ASSOCIATED WITH WATER VAPOUR AND CONDENSATION:

EXHAUST IN KITCHEN, BATHROOM, SANITARY COMPARTMENT OR LAUNDRY MUST ACHIEVE FLOW RATES OF –

- 25L/S FOR BATHROOM OR SANITARY COMPARTMENT; AND
- 40L/S FOR KITCHEN & LDTRY.

EXHAUST DIRECTLY VIA SHAFT OR DUCT TO ATMOSPHERE

ENERGY RATING NOTES:

REFER TO ENERGY RATING REPORT FOR INSULATION DETAILS AND LOCATIONS

EXTERNAL SWING DOORS TO BE FITTED WITH DRAUGHT PROTECTION DEVICE TO BOTTOM EDGE OF EACH LEAF.

HOT WATER SUPPLY SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTION 6A OF AS/NZS 3500.4.2 OR CLAUSE 3.38 OF AS/NZS 3500.5

GLAZING TO WINDOWS AND GLAZED DOORS AS PER ENERGY REPORT.

AS 1288 PROVIDE 5mm TOUGHENED GLASS TO ALL SLIDING DOORS AND WINDOW ABOVE BATH WITH 3mm FLOAT GLASS TO REMAINDER

⊙ DENOTES SMOKE DETECTOR HARD WIRED IN ACCORDANCE WITH AS 3786. SMOKE ALARMS TO BE INTERCONNECTED AS PER BCA PART 3.7.5.2(d) BCA-P2.3.2

⊕ DENOTES VERTICAL CONTROL JOINTS IN ACCORDANCE WITH ENGINEERS DETAILS.

W.C. DOOR TO BE EASILY REMOVABLE FROM OUTSIDE OF THE COMPARTMENT

AREAS :	
LOWER LIVING	172.23
UPPER LIVING	165.18
GARAGES	45.28
BALCONY	27.32
ALFRESCO	26.27
PORCH	1.17
TOTAL	437.45 SQ.M.
SITE	545.30 SQ.M.
POS	203.91 SQ.M.
SITE COVER	44.92 %
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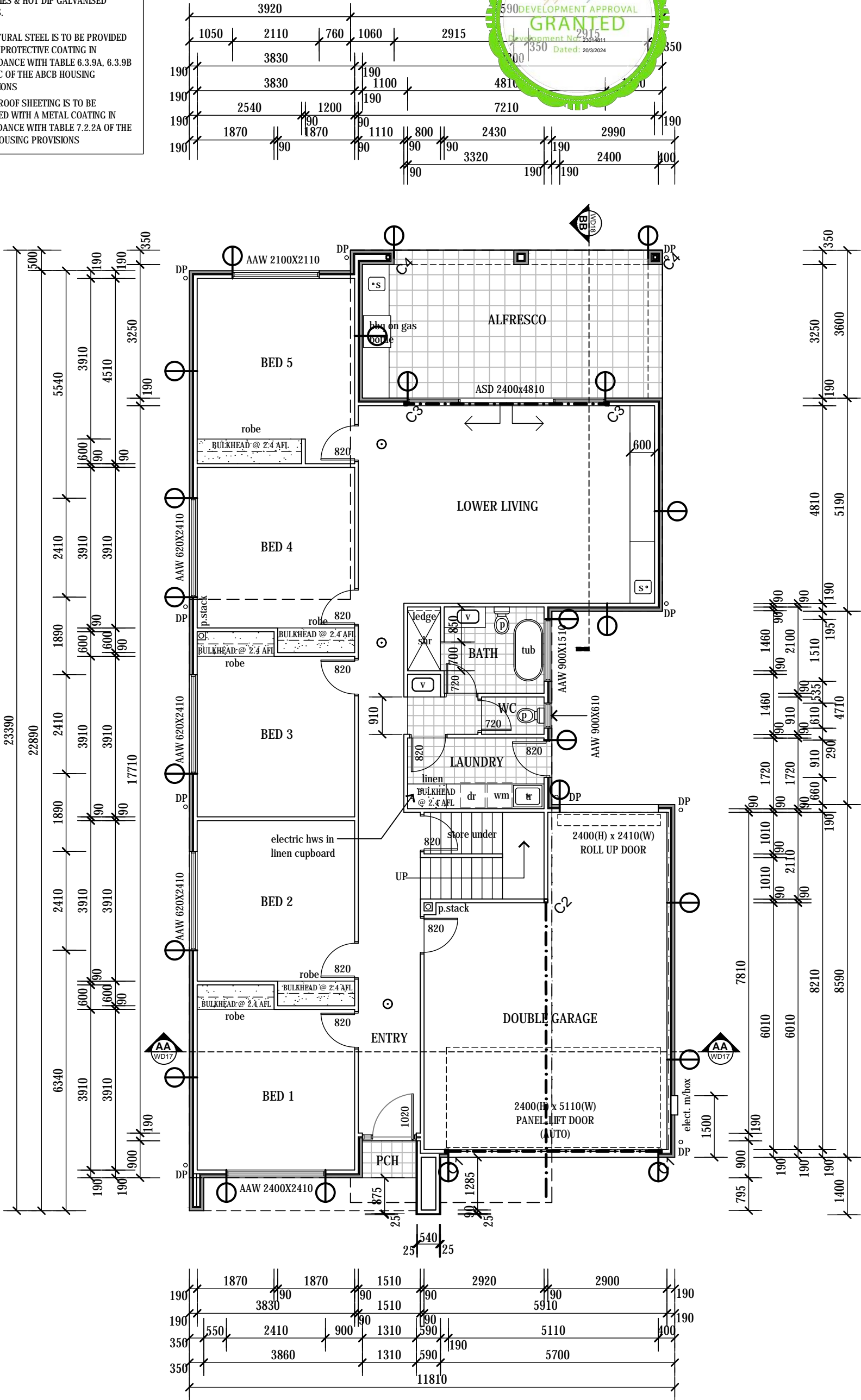
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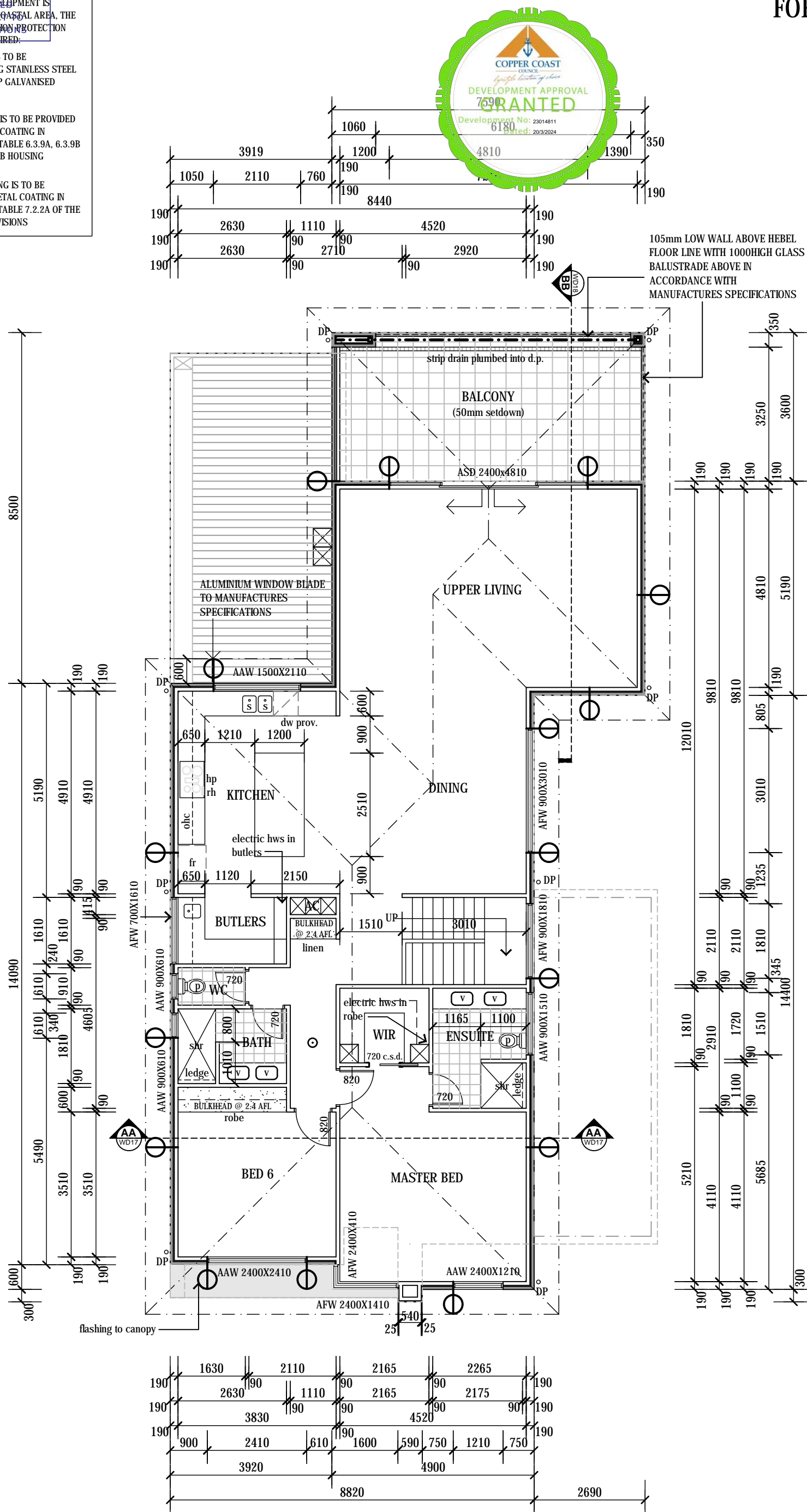
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LOWER FLOOR PLAN

SCALE 1:100
(HEBEL POWERPANEL CONSTRUCTION)

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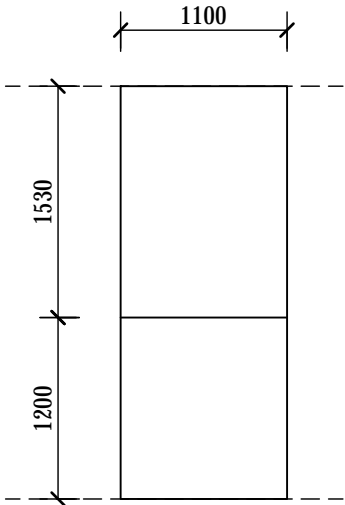
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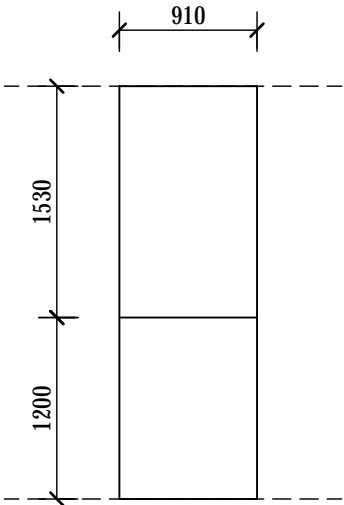
UPPER FLOOR PLAN

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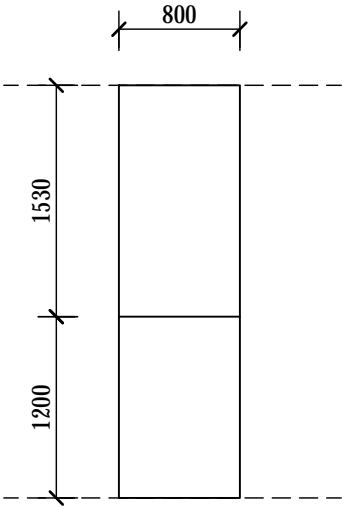
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UPPER LEVEL
ENSUITE SHR LEDGE DETAIL
SCALE 1:50



UPPER LEVEL
BATH SHR LEDGE DETAIL
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LOWER LEVEL
BATH SHR LEDGE DETAIL
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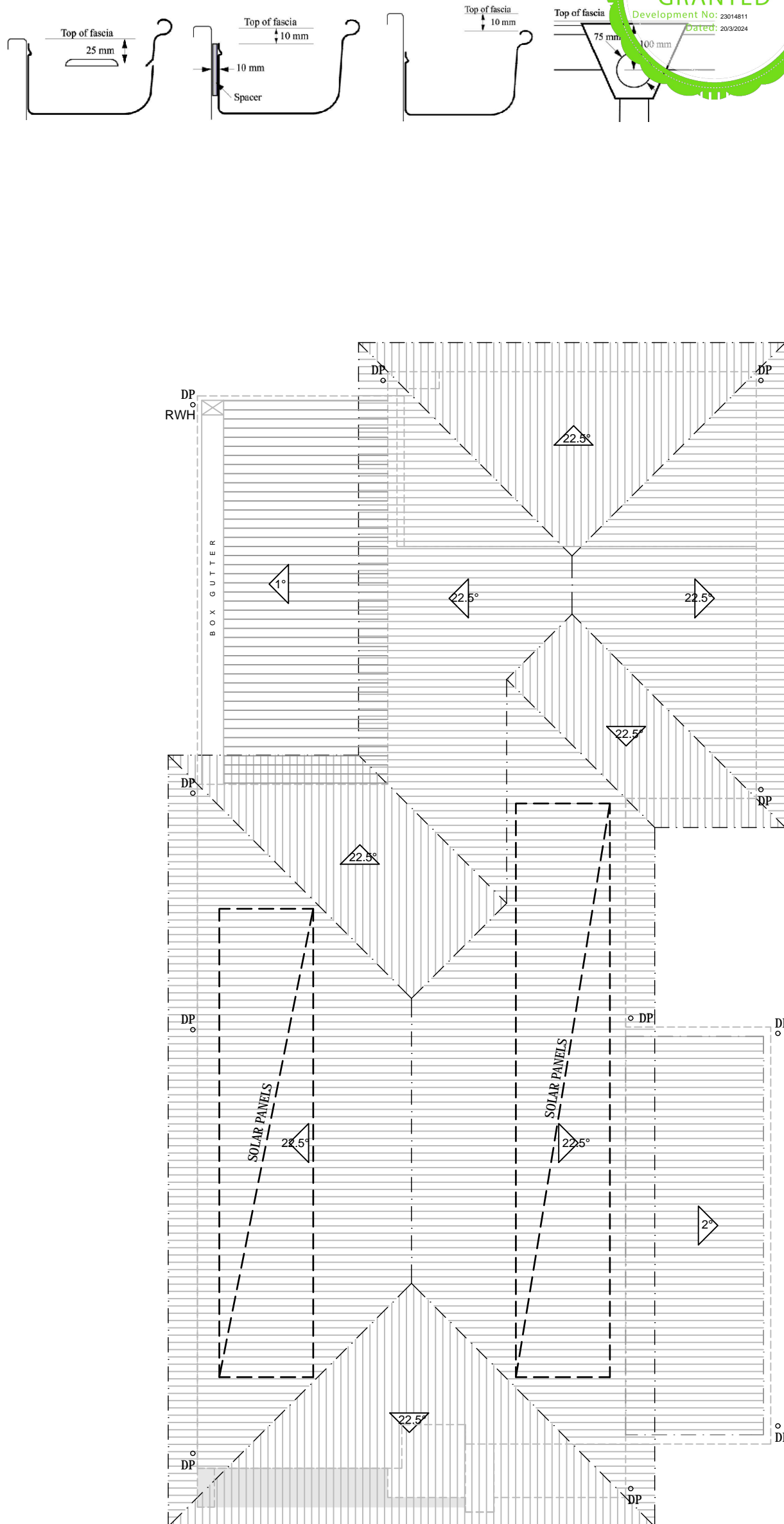
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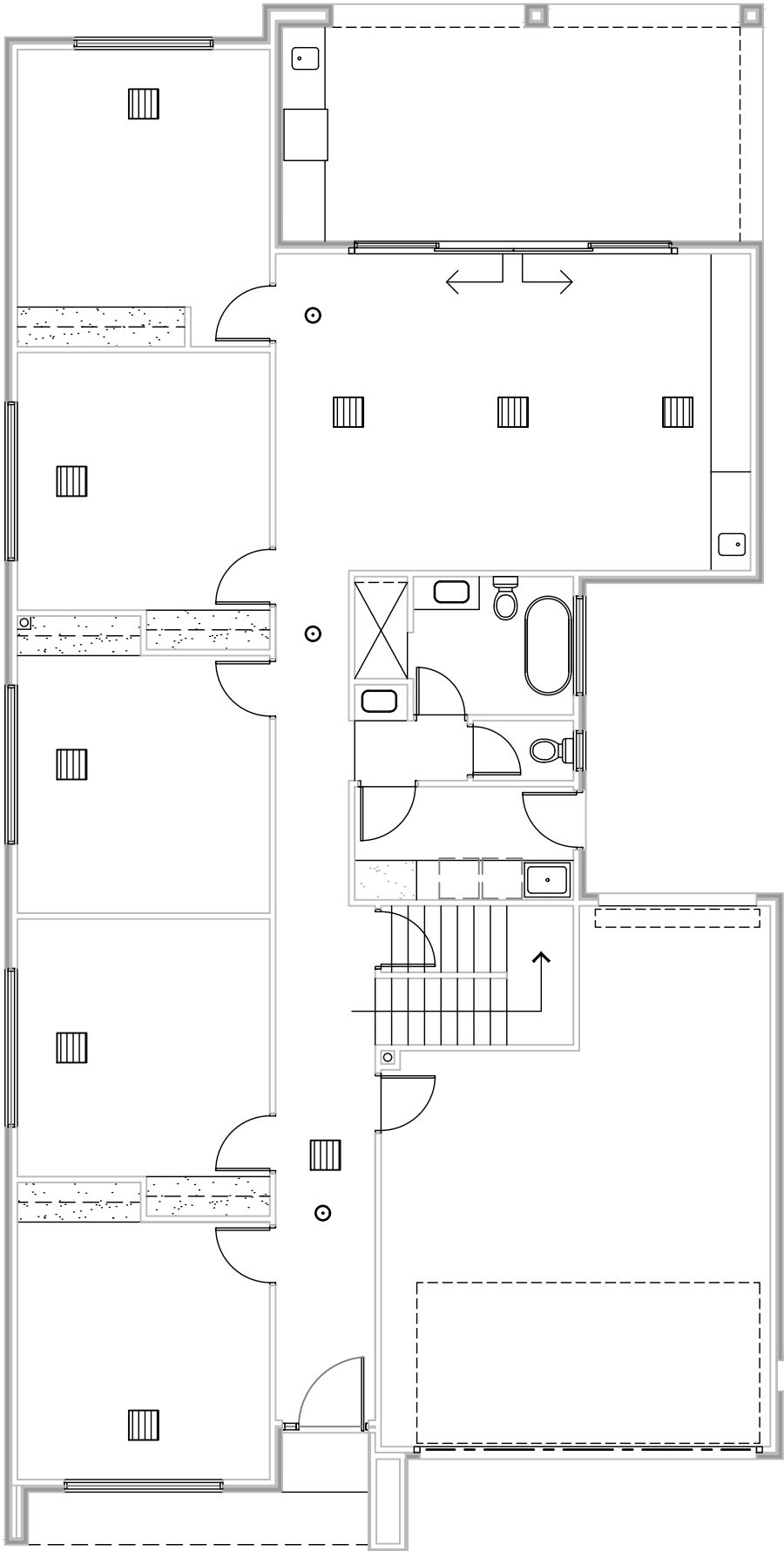
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SCALE 1:100



	NO.	ELECTRICAL LEGEND:
LOWER/UPPER/TOTAL		△ SINGLE G.P.O @ 200mm FFL
		△△ DOUBLE G.P.O @ 200mm FFL
		▲ SINGLE G.P.O @ 1100mm FFL
		▲▲ DOUBLE G.P.O @ 1100mm FFL
		▲ SINGLE G.P.O @ 1350mm FFL
		▲▲ DOUBLE G.P.O @ 1350mm FFL
		△△ SINGLE G.P.O AS SPECIFIED
		△△△ DOUBLE G.P.O AS SPECIFIED
		X LIGHT SWITCH
		X ₂ 2-WAY LIGHT SWITCH (SET)
		X ₃ 3-WAY LIGHT SWITCH (SET)
		○ BATTEN LIGHT
		⊗ RECESSED LED LIGHT
		Ⓟ PENDANT LIGHT
		— 1.2m FLUORESCENT LIGHT
		⚡ SECURITY LIGHT
		⊖ WALL MOUNTED LIGHTS
		⊗⊗ IXL (4) (INCLUDES SWITCH)
		⊗⊗ IXL (3) (INCLUDES SWITCH)
		⦿ 300DIAM EXHAUST FAN
		Ⓥ T.V. POINT
		☎ TELEPHONE
		Ⓢ FOXTEL POINT
		Ⓛ DATA POINT
		⊕ CEILING FAN WITH LIGHT
		⊗ CEILING FAN WITHOUT LIGHT

MS DENOTES MOTION SENSOR
CONNECTED TO LIGHTS

WP DENOTES WATER PROOF
EXTERNAL G.P.O

⊙ DENOTES SMOKE DETECTOR
HARD WIRED IN ACCORDANCE
WITH AS 3786. SMOKE ALARMS
TO BE INTERCONNECTED AS
PER BCA PART 3.7.5.2(d)
BCA-P2.3.2

AMENDMENTS			
Rev	Date	Description	Drawn
A	14.03.23	PLANNING ISSUE	C.I.
B	24.03.23	DEKTON BLADE WALL	C.I.
C	24.04.23	ENCUMBRANCE RFI	C.I.
D	19.06.23	COUNCIL RFI	C.I.
E	31.07.23	CONSULTANT ISSUE	C.I.
F	21.11.23	MINOR CHANGES	C.I.
G	31.01.24	CERTIFIER ISSUE	C.I.
H	14.02.24	CERTIFIER RFI	C.I.

SPECTR

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2188

PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT
AT:
LOT 48 LIBERATOR WAY,
WALLAROO SHORES

CLIENT
M. & D. KALLIOS

DRAWN
CI
DATE
MARCH 2023

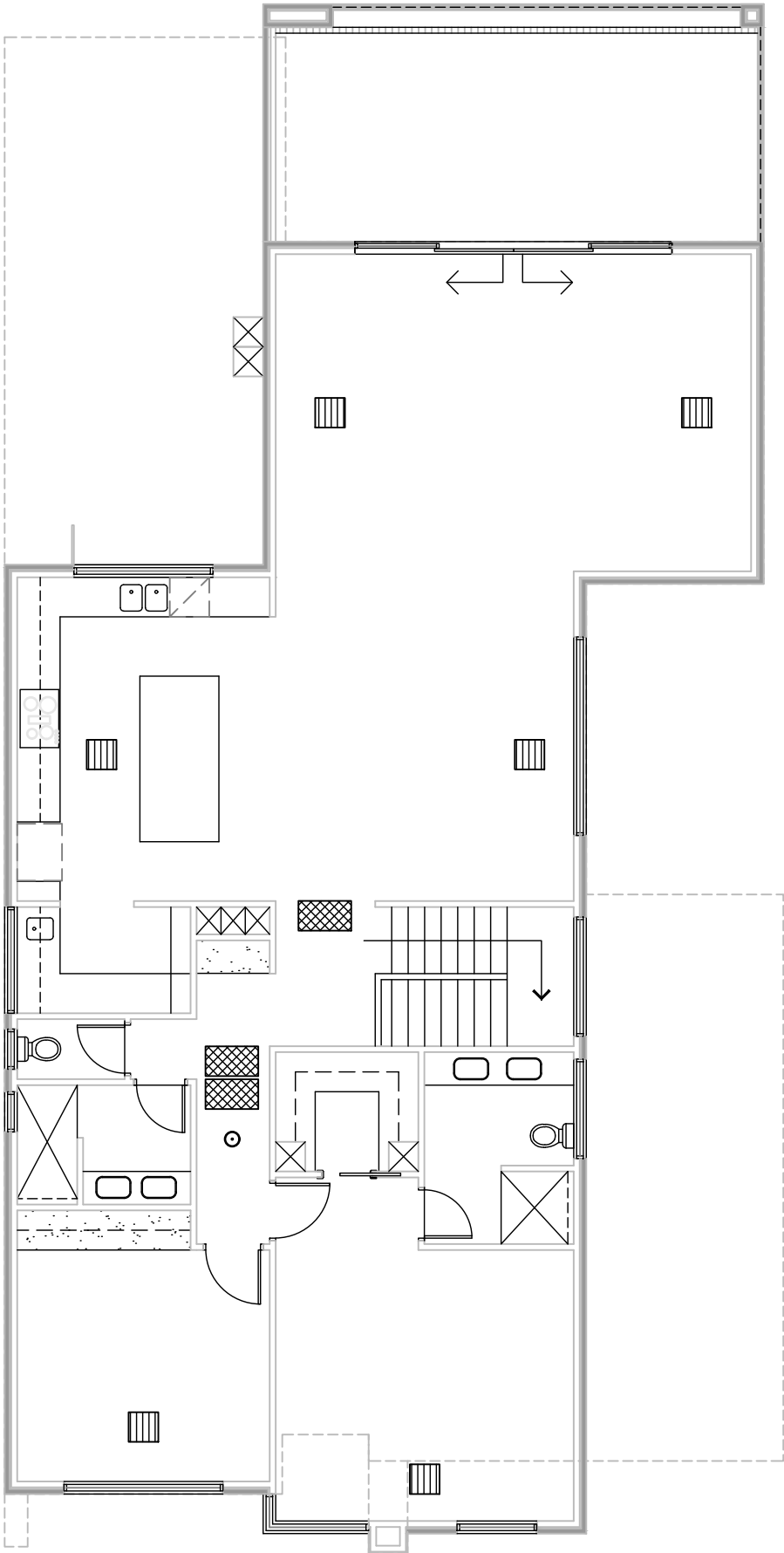
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PROJECT No.
16.2023
SHEET No.
WD 11 OF 24

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND
LEVELS ON SITE BEFORE COMMENCING ANY WORK OR
MAKING SHOP DRAWINGS. FIGURED DIMENSIONS
SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS
AND ANY DISCREPANCY SHALL BE REPORTED TO THE
DESIGNERS IMMEDIATELY

LOWER ELECTRICAL PLAN

SCALE 1:100



NO.	ELECTRICAL LEGEND:
LOWER/UPPER/TOTAL	△ SINGLE G.P.O @ 200mm FFL
	△△ DOUBLE G.P.O @ 200mm FFL
	▲ SINGLE G.P.O @ 1100mm FFL
	▲▲ DOUBLE G.P.O @ 1100mm FFL
	▲ SINGLE G.P.O @ 1350mm FFL
	▲▲ DOUBLE G.P.O @ 1350mm FFL
	△ SINGLE G.P.O AS SPECIFIED
	△△ DOUBLE G.P.O AS SPECIFIED
	X LIGHT SWITCH
	X ₂ 2-WAY LIGHT SWITCH (SET)
	X ₃ 3-WAY LIGHT SWITCH (SET)
	○ BATTEN LIGHT
	⊗ RECESSED LED LIGHT
	Ⓟ PENDANT LIGHT
	— 1.2m FLUORESCENT LIGHT
	⚡ SECURITY LIGHT
	⊖ WALL MOUNTED LIGHTS
	⊗⊗ XL (4) (INCLUDES SWITCH)
	⊗⊗ XL (3) (INCLUDES SWITCH)
	⊗ 300DIAM EXHAUST FAN
	Ⓜ T.V. POINT
	☎ TELEPHONE
	Ⓢ FOXTEL POINT
	Ⓛ DATA POINT
	⊕ CEILING FAN WITH LIGHT
	⊗ CEILING FAN WITHOUT LIGHT

MS DENOTES MOTION SENSOR
CONNECTED TO LIGHTS

WP DENOTES WATER PROOF
EXTERNAL G.P.O

⊙ DENOTES SMOKE DETECTOR
HARD WIRED IN ACCORDANCE
WITH AS 3786. SMOKE ALARMS
TO BE INTERCONNECTED AS
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BCA-P2.3.2

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F	21.11.23	MINOR CHANGES	C.I.
G	31.01.24	CERTIFIER ISSUE	C.I.
H	14.02.24	CERTIFIER RFI	C.I.

SPECTR

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2188

PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT
AT:
LOT 48 LIBERATOR WAY,
WALLAROO SHORES

CLIENT
M. & D. KALLIOS

DRAWN
CI
DATE
MARCH 2023

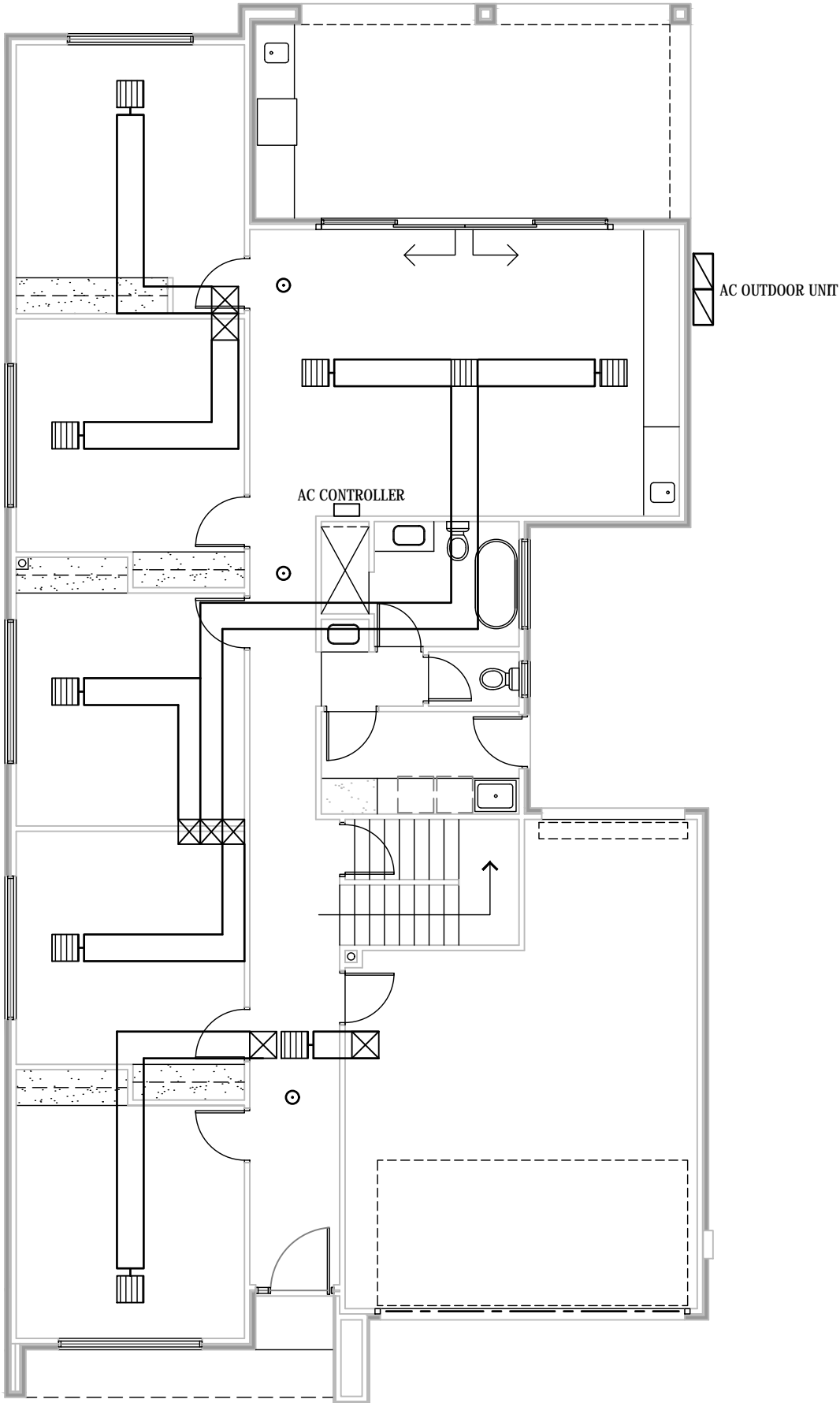
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16.2023
SHEET No.
WD 12 OF 24

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UPPER ELECTRICAL PLAN

SCALE 1:100



GROUND FLOOR AIR CONDITIONING

SCALE 1:100

AMENDMENTS			
Rev	Date	Description	Drawn
A	14.03.23	PLANNING ISSUE	C.I.
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G	31.01.24	CERTIFIER ISSUE	C.I.
H	14.02.24	CERTIFIER RFI	C.I.

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SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2188

PROJECT
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DEVELOPMENT
AT:
LOT 48 LIBERATOR WAY,
WALLAROO SHORES

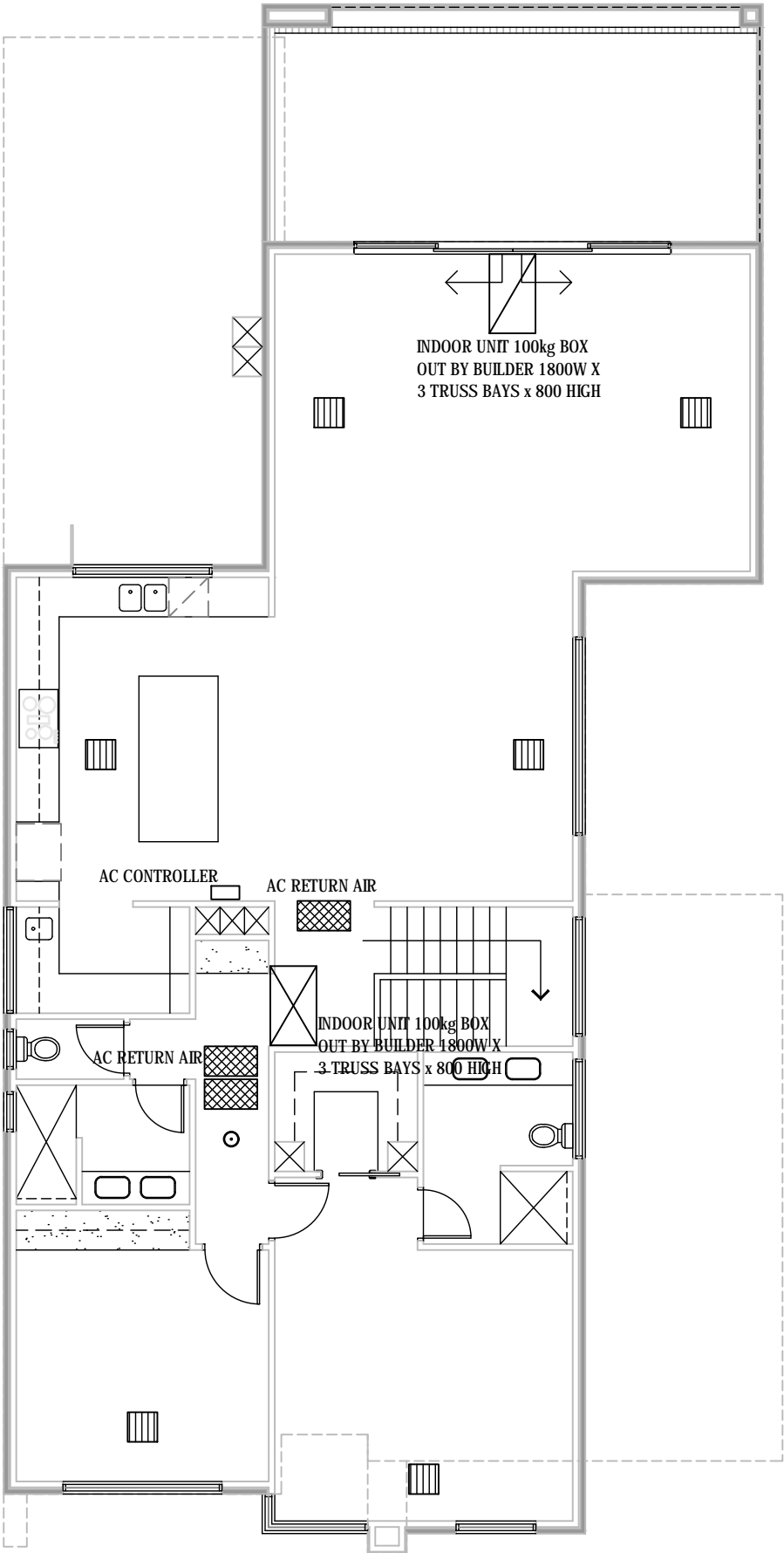
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MARCH 2023

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16.2023
SHEET No.
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UPPER FLOOR AIR CONDITIONING

SCALE 1:100

AMENDMENTS			
Rev	Date	Description	Drawn
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DEVELOPMENT

AT:

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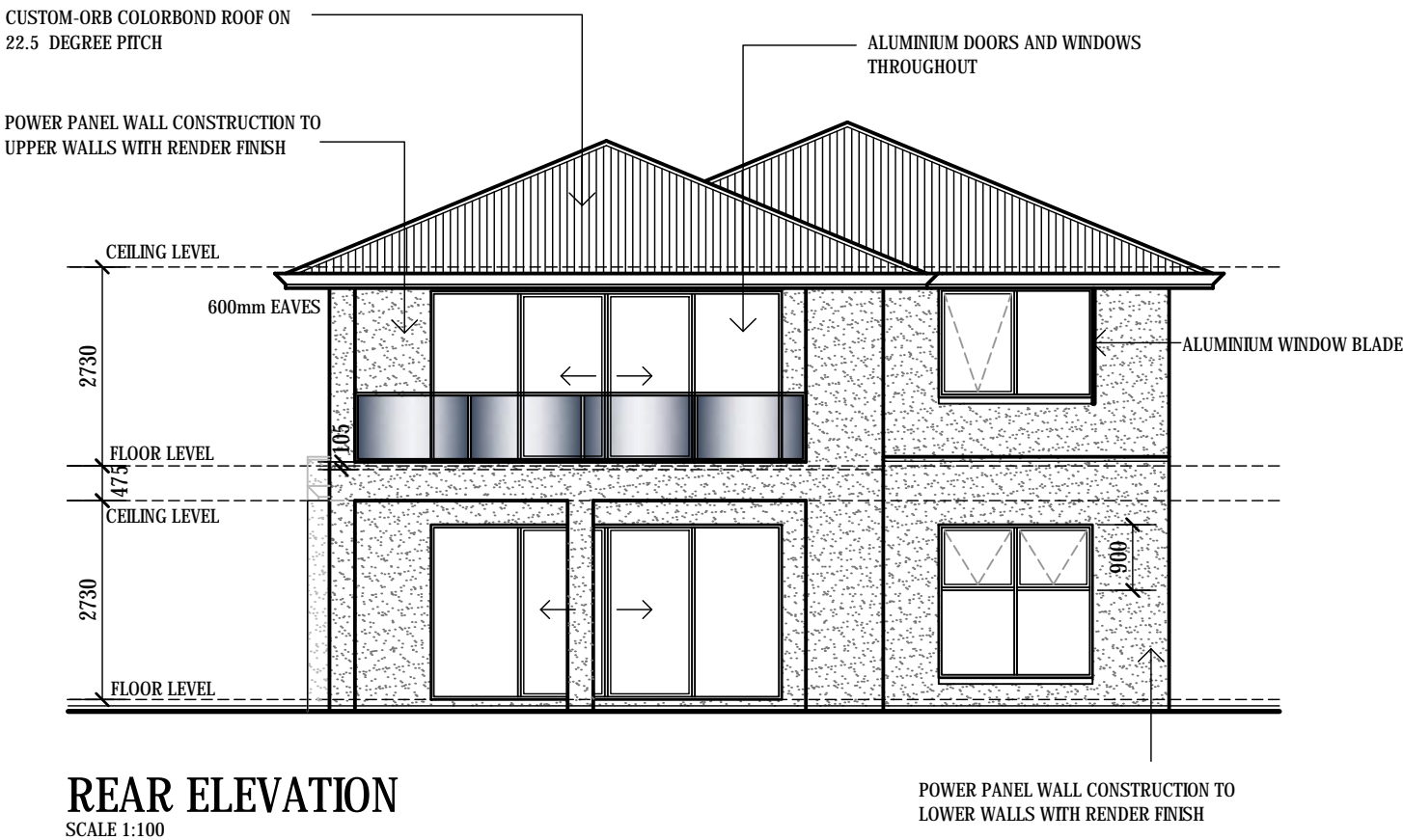
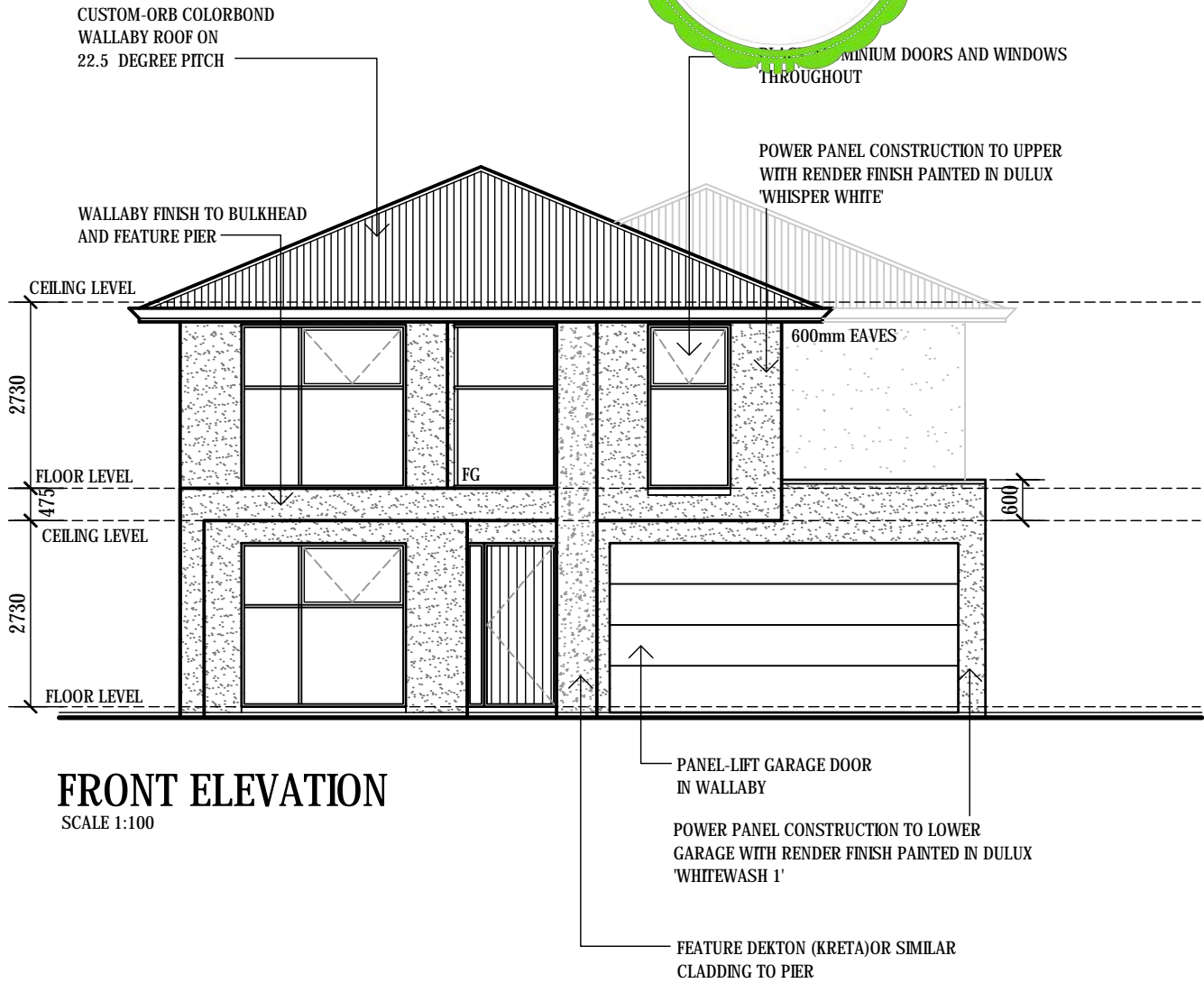
PROJECT No.

16.2023

SHEET No.

WD 14 OF 24


CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND
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DESIGNERS IMMEDIATELY



NOTE:
FOR OPERABLE WINDOWS WHERE THE FLOOR BELOW IS 2000mm OR MORE ABOVE THE SURFACE LEVEL AND WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1700mm ABOVE THE FLOOR THE WINDOW MUST BE PROTECTED WITH THE FOLLOWING:

- A DEVICE CAPABLE OF RESTRICTING WINDOW OPENING TO NOT PERMIT A 125mm SPHERE TO PASS THROUGH; OR
- A SCREEN WITH SECURE FITTINGS CAPABLE OF RESISTING A HORIZONTAL ACTION OF 250N AGAINST THE WINDOW RESTRAINED BY DEVICE OR SCREEN PROTECTING THE OPENING; AND HAVE A CHILD RESISTANT RELEASE MECHANISM IF THE SCREEN OR DEVICE IS REMOVABLE, UNLOCKED OR OVERRIDDEN.

AMENDMENTS				
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A	14.03.23	PLANNING ISSUE	C.I.	
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H	14.02.24	CERTIFIER RFI	C.I.	



SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2188

PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT
AT:
LOT 48 LIBERATOR WAY,
WALLAROO SHORES

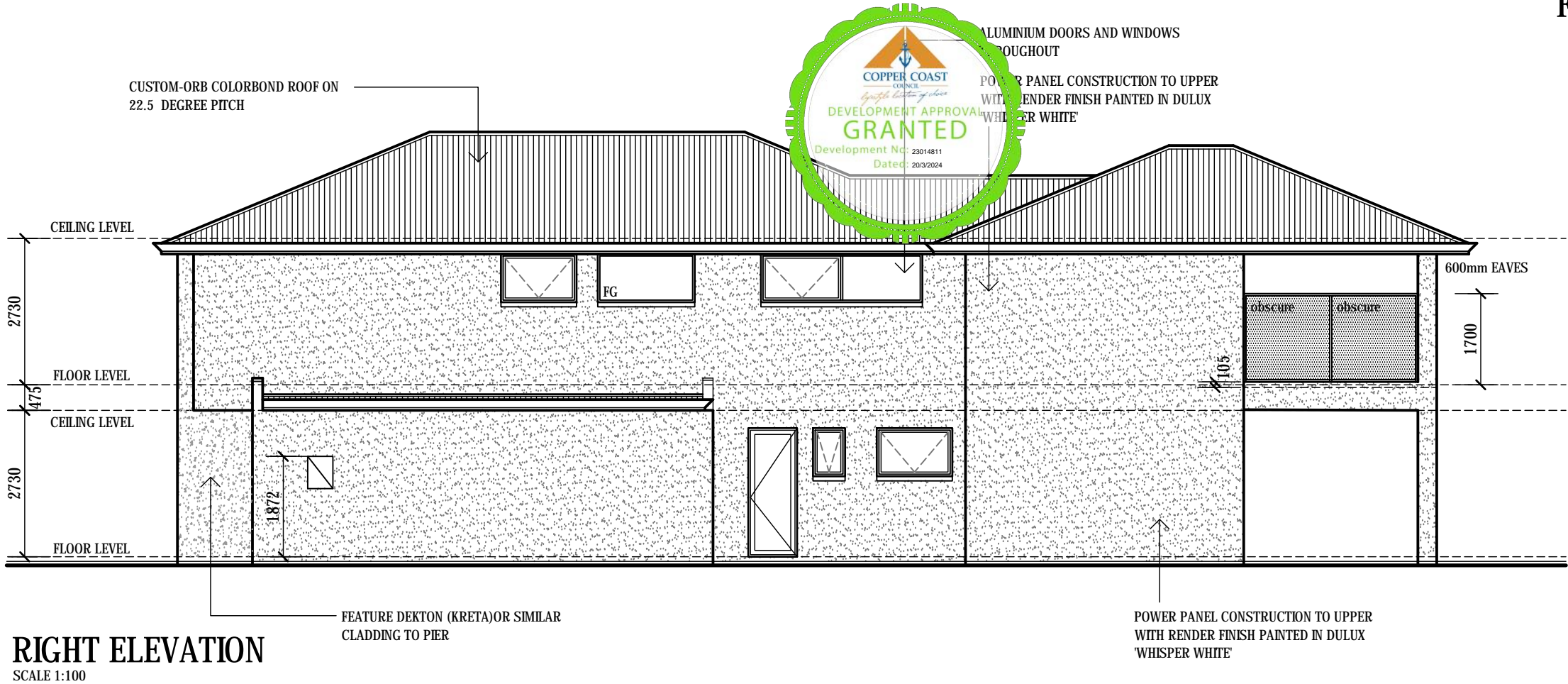
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DATE
MARCH 2023

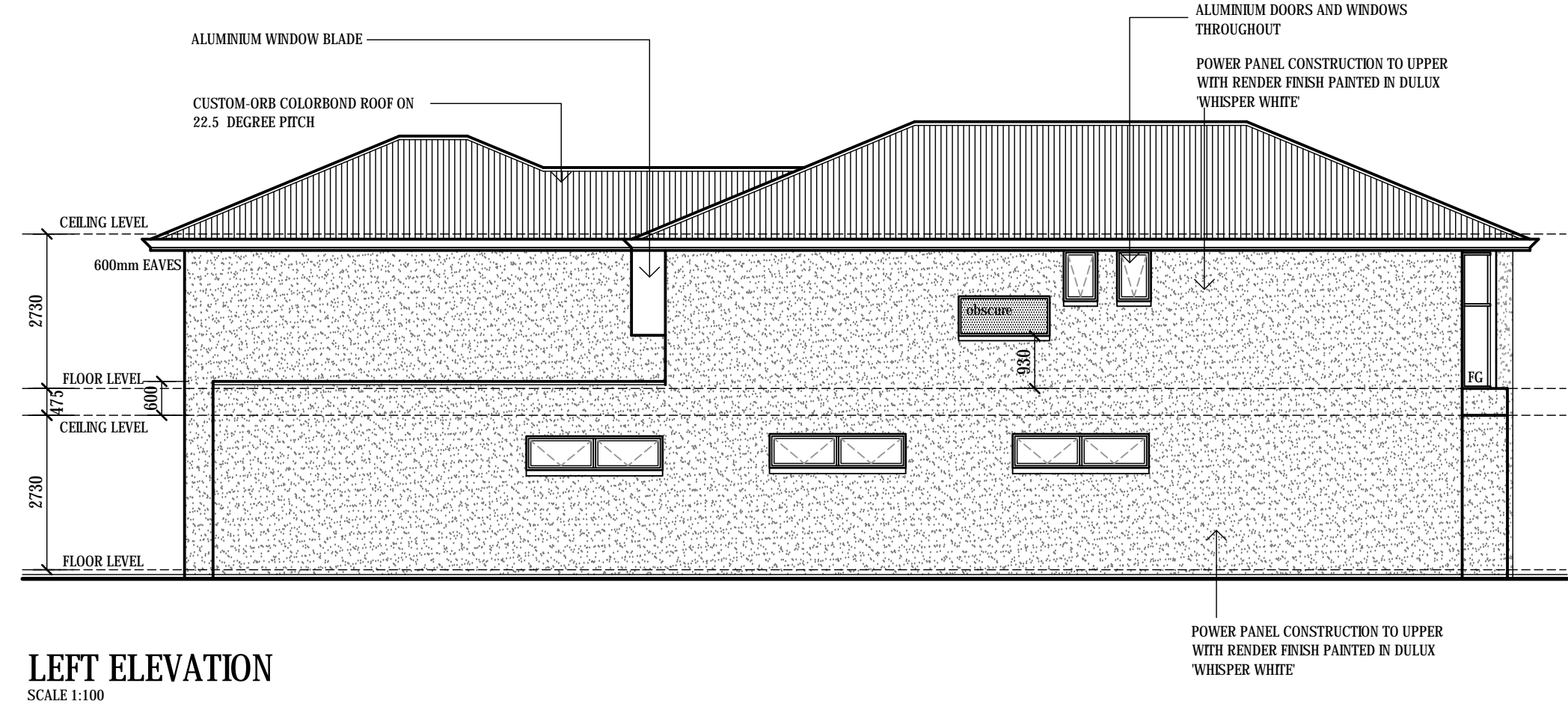
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16.2023
SHEET No.
WD 15 OF 24

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RIGHT ELEVATION
SCALE 1:100



LEFT ELEVATION
SCALE 1:100

NOTE:
FOR OPERABLE WINDOWS WHERE THE FLOOR BELOW IS 2000mm OR MORE ABOVE THE SURFACE LEVEL AND WHERE THE LOWEST LEVEL OF THE WINDOW OPENING IS LESS THAN 1700mm ABOVE THE FLOOR THE WINDOW MUST BE PROTECTED WITH THE FOLLOWING:

- A DEVICE CAPABLE OF RESTRICTING WINDOW OPENING TO NOT PERMIT A 125mm SPHERE TO PASS THROUGH; OR
- A SCREEN WITH SECURE FITTINGS CAPABLE OF RESISTING A HORIZONTAL ACTION OF 250N AGAINST THE WINDOW RESTRAINED BY DEVICE OR SCREEN PROTECTING THE OPENING; AND

HAVE A CHILD RESISTANT RELEASE MECHANISM IF THE SCREEN OR DEVICE IS REMOVABLE, UNLOCKED OR OVERRIDDEN.

AMENDMENTS			
Rev	Date	Description	Drawn
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SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 83382188

PROJECT
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DEVELOPMENT
AT:
LOT 48 LIBERATOR WAY,
WALLAROO SHORES

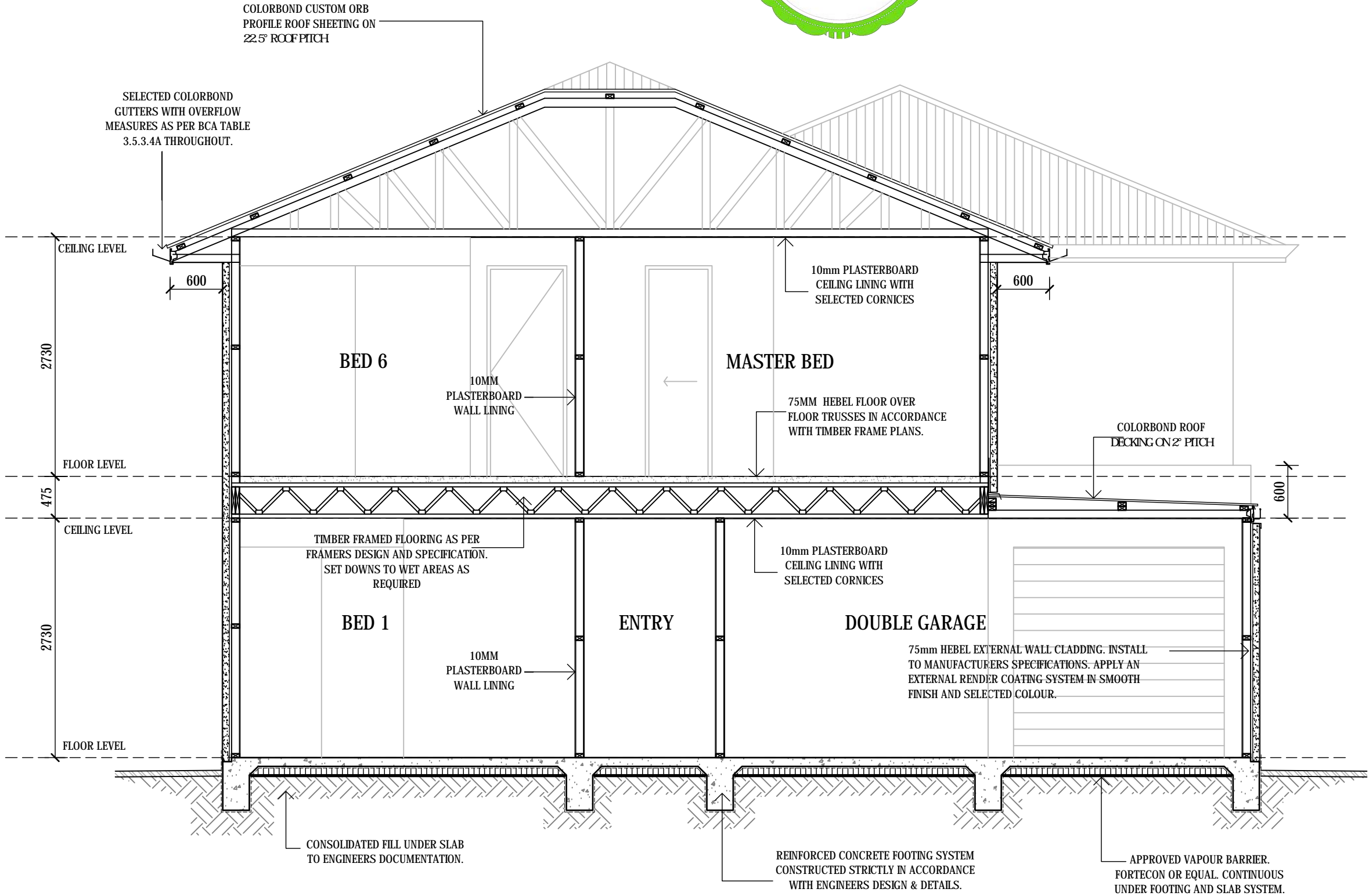
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16.2023
SHEET No.
WD 16 OF 24

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SECTION AA

SCALE 1:50

AMENDMENTS			
Rev	Date	Description	Drawn
A	14.03.23	PLANNING ISSUE	C.I.
B	24.03.23	DEKTON BLADE WALL	C.I.
C	24.04.23	ENCUMBRANCE RFI	C.I.
D	19.06.23	COUNCIL RFI	C.I.
E	31.07.23	CONSULTANT ISSUE	C.I.
F	21.11.23	MINOR CHANGES	C.I.
G	31.01.24	CERTIFIER ISSUE	C.I.
H	14.02.24	CERTIFIER RFI	C.I.



SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2188

PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT
AT:
LOT 48 LIBERATOR WAY,
WALLAROO SHORES

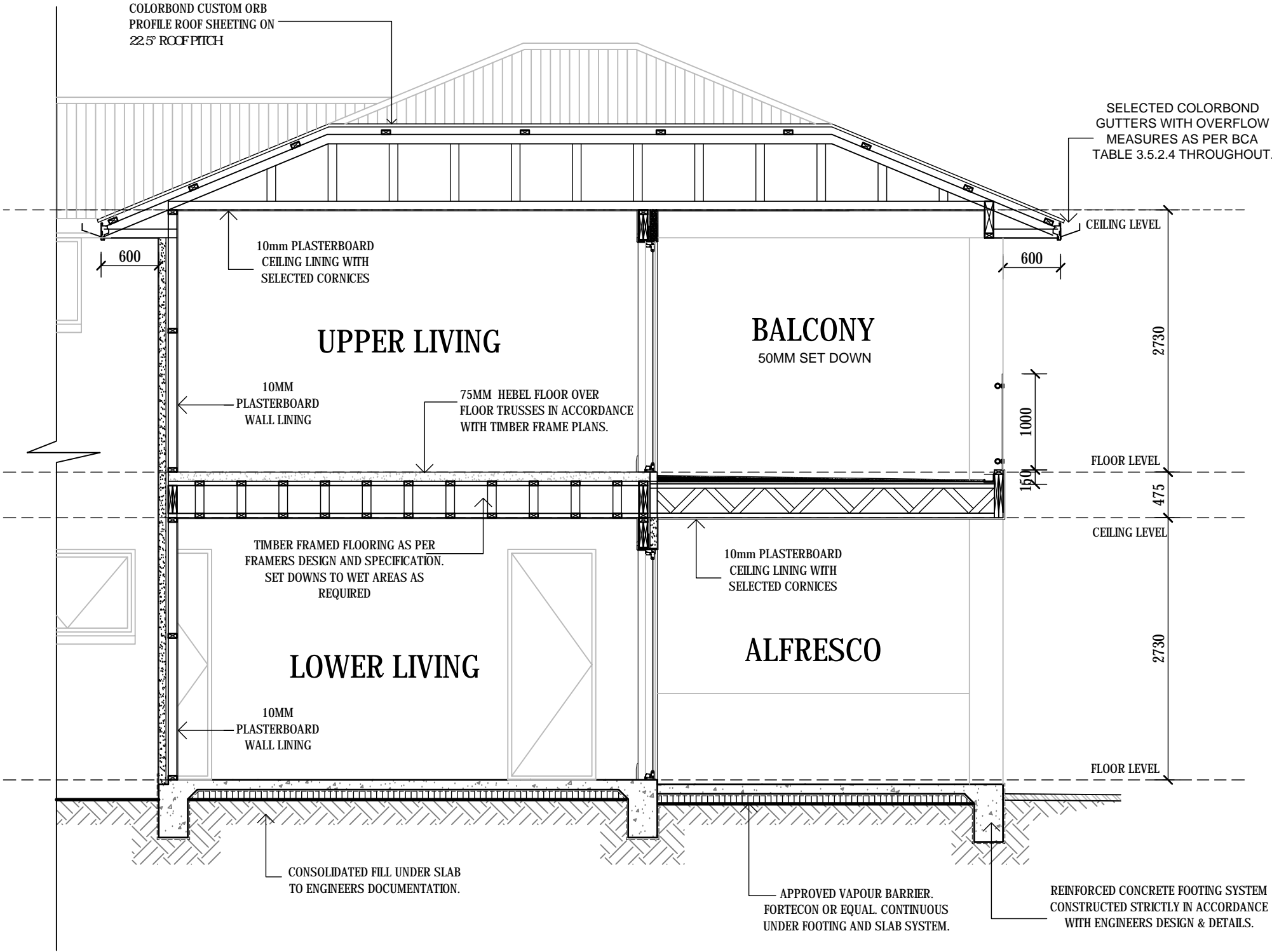
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PROJECT No.
16.2023
SHEET No.
WD 17 OF 24

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SECTION BB
SCALE 1:50

AMENDMENTS			
Rev	Date	Description	Drawn
A	14.03.23	PLANNING ISSUE	C.I.
B	24.03.23	DEKTON BLADE WALL	C.I.
C	24.04.23	ENCUMBRANCE RFI	C.I.
D	19.06.23	COUNCIL RFI	C.I.
E	31.07.23	CONSULTANT ISSUE	C.I.
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G	31.01.24	CERTIFIER ISSUE	C.I.
H	14.02.24	CERTIFIER RFI	C.I.



SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2188

PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT
AT:
LOT 48 LIBERATOR WAY,
WALLAROO SHORES

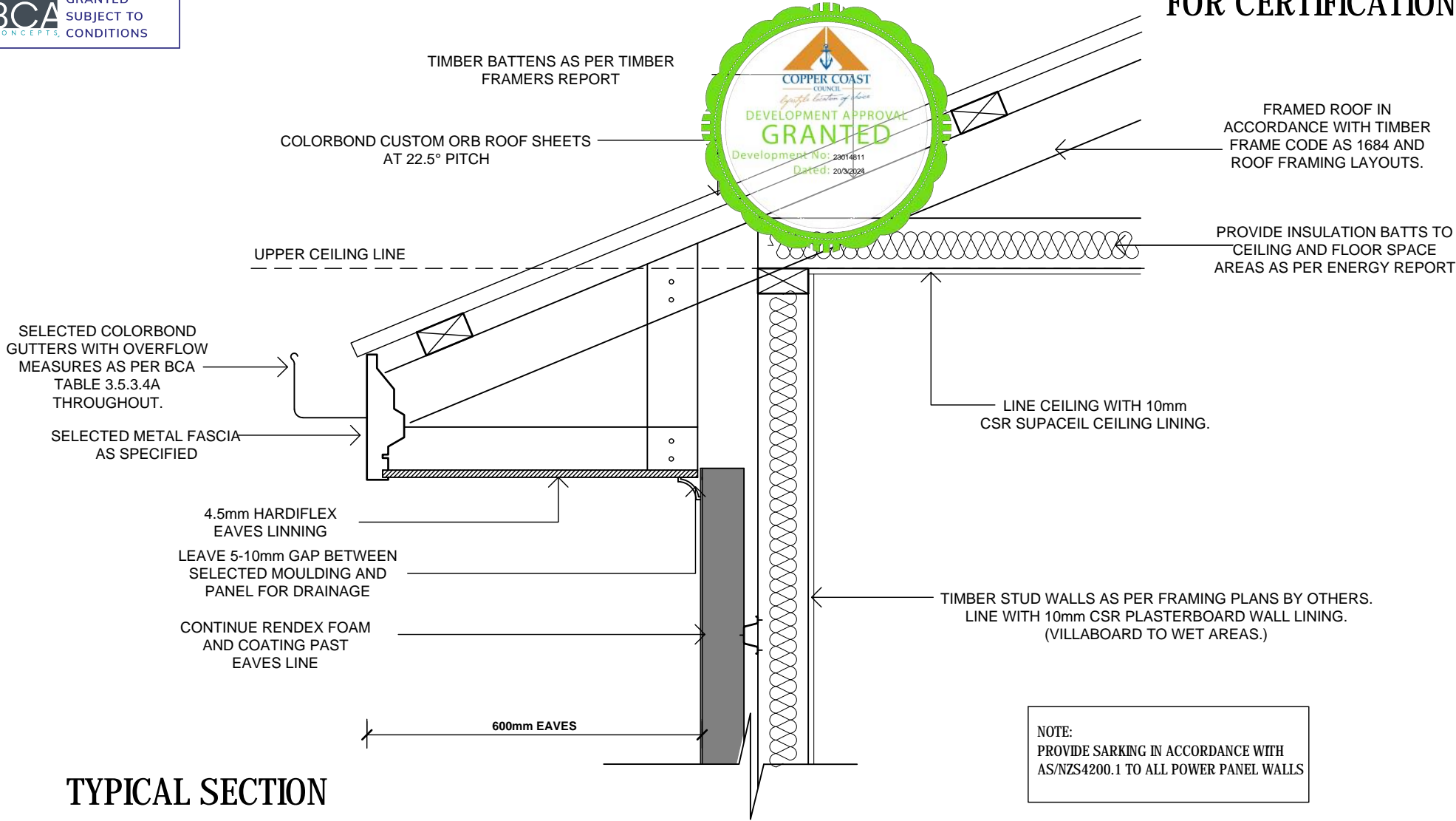
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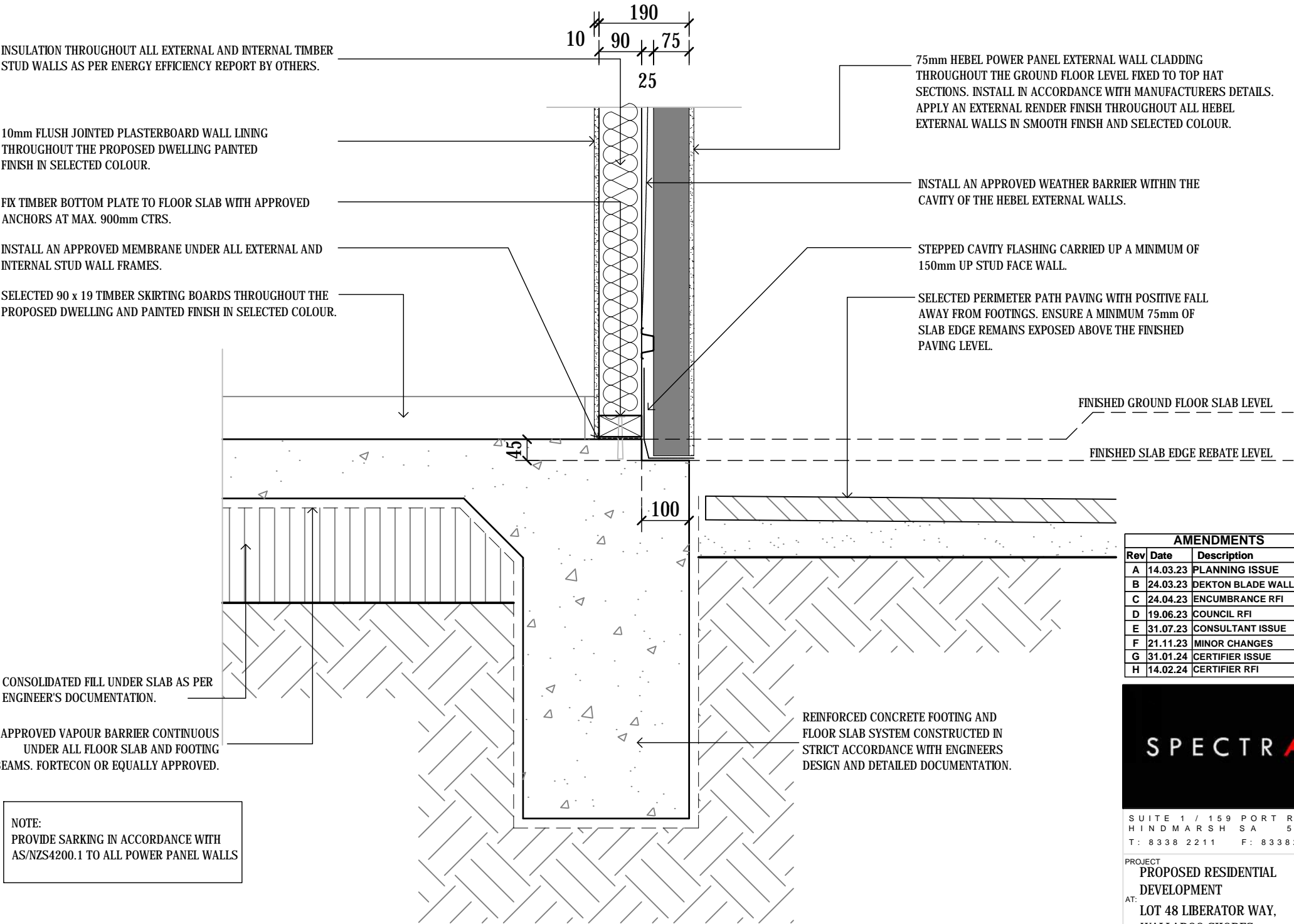
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16.2023
SHEET No.
WD 18 OF 24

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE DESIGNERS IMMEDIATELY



TYPICAL SECTION

SCALE 1:10



TYPICAL HEBEL VENEER EXTERNAL WALL
DETAIL AT FOOTING BASE

SCALE 1:10

AMENDMENTS			
Rev	Date	Description	Drawn
A	14.03.23	PLANNING ISSUE	C.I.
B	24.03.23	DEKTON BLADE WALL	C.I.
C	24.04.23	ENCUMBRANCE RFI	C.I.
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H	14.02.24	CERTIFIER RFI	C.I.

SPECTR

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2188

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PROJECT No.

16.2023

DATE

MARCH 2023

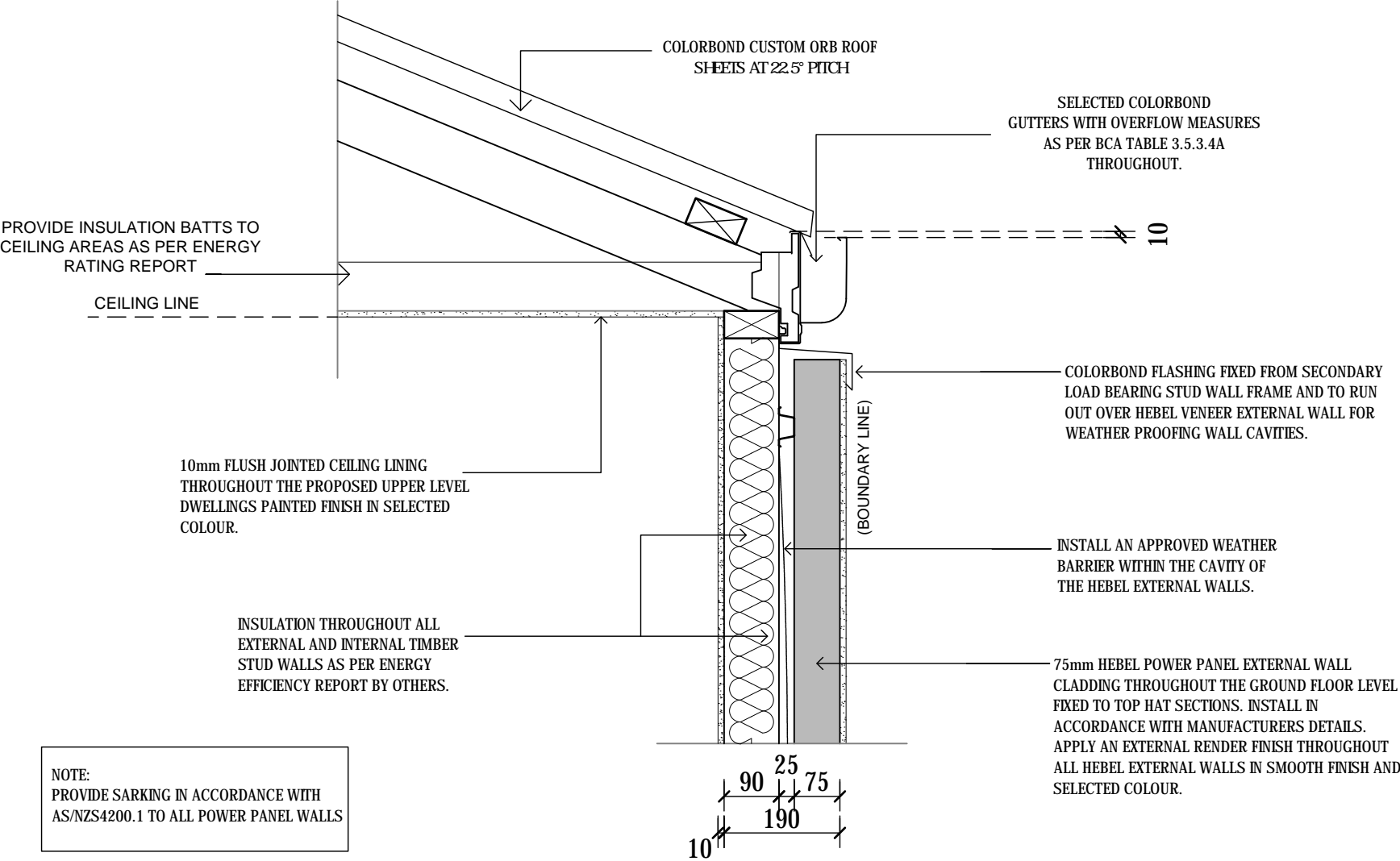
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WD 19 OF 24

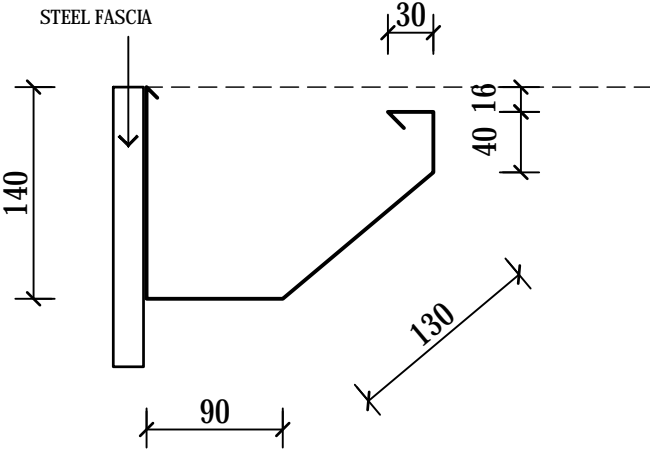
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DEVELOPMENT
LOT 48 LIBERATOR WAY,
WALLAROO SHORES
M. & D. KALLIOS

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NOTE:
PROVIDE SARKING IN ACCORDANCE WITH
AS/NZS4200.1 TO ALL POWER PANEL WALLS

BOUNDARY GUTTER DETAIL
SCALE 1:10



TYPICAL GUTTER DETAIL
SCALE 1: 5

AMENDMENTS			
Rev	Date	Description	Drawn
A	14.03.23	PLANNING ISSUE	C.I.
B	24.03.23	DEKTON BLADE WALL	C.I.
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H	14.02.24	CERTIFIER RFI	C.I.

SPECTR

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
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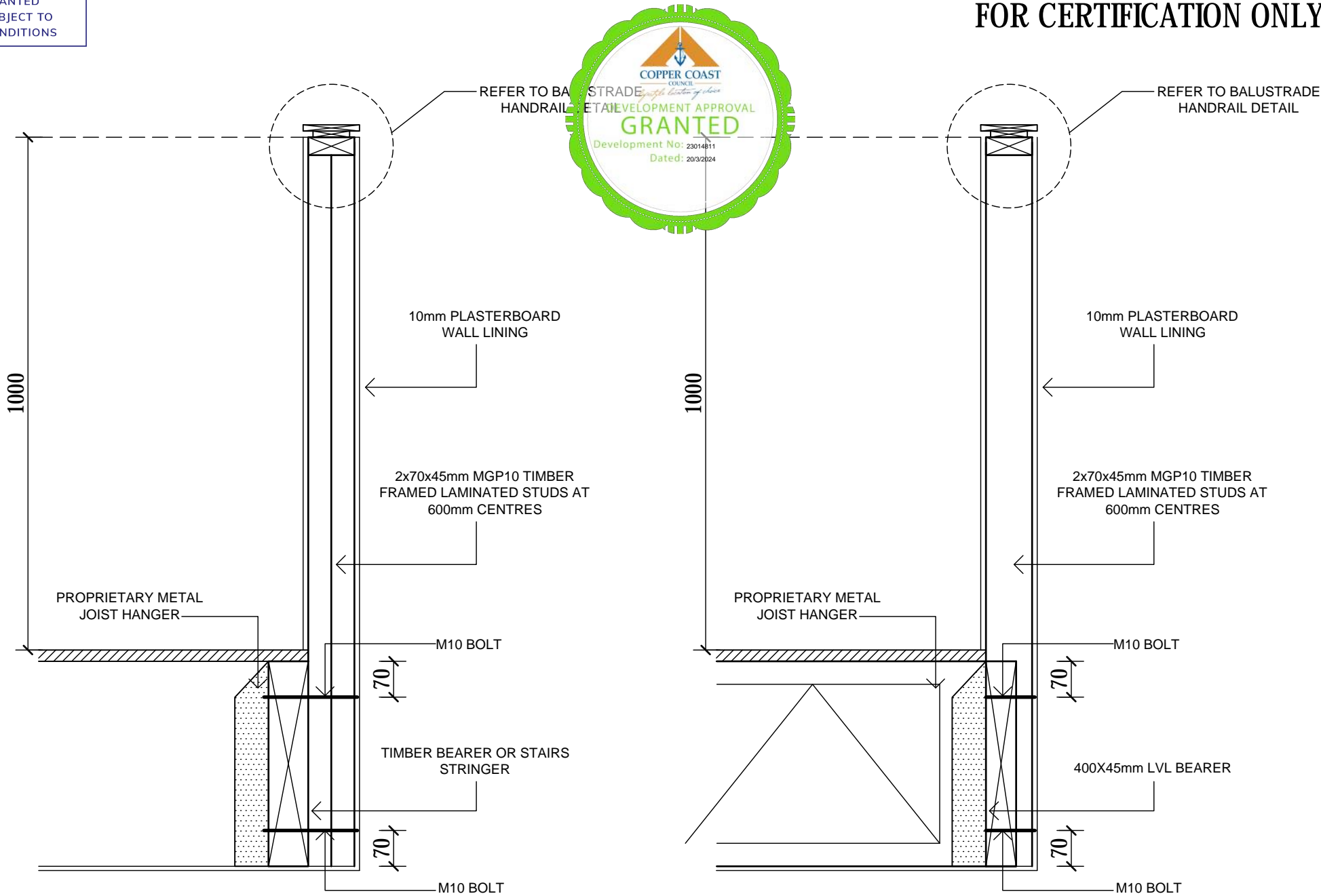
PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT
AT:
LOT 48 LIBERATOR WAY,
WALLAROO SHORES

CLIENT
M. & D. KALLIOS

DRAWN
CI
SCALE
AS SHOWN

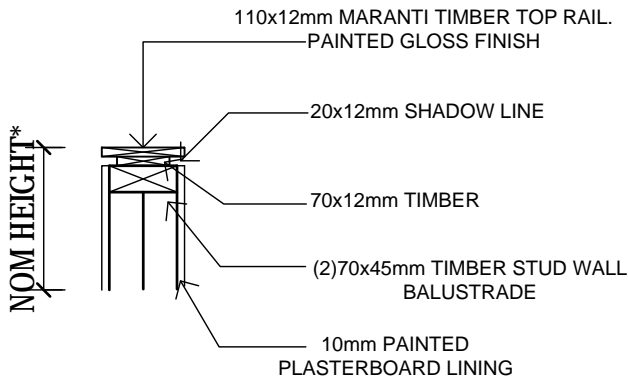
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16.2023
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WD 20 OF 24

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE DESIGNERS IMMEDIATELY



INTERNAL BALUSTRADE SECTION DETAIL

SCALE 1:10



BALUSTRADE SECTION DETAIL

SCALE 1:10

MANUFACTURERS STAIRS ARE TO COMPLY WITH BCA-H5P1 . NCC 2022

MAX. 18 RISERS TO EACH FLIGHT. RISER MUST NOT ALLOW 125 SPHERE TO PASS THROUGH RISER DIMENSIONS:

- GOING DIMENSIONS:
- SLOPE RELATIONSHIP:

STAIR BALUSTRADE / HANDRAIL HEIGHT - MIN. 865 mm

LANDING BALUSTRADE / HANDRAIL HEIGHT - MIN. 1000 mm

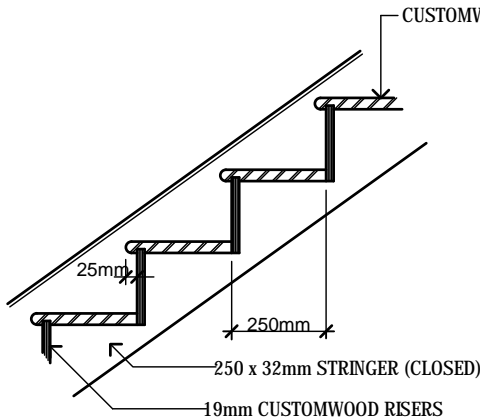
BALUSTRADE MUST NOT ALLOW 125 SPHERE TO PASS THROUGH. STAIRS TO HAVE NON-SLIP FINISH OR SUITABLE NON-SKID STRIP

NOTE:

TREADS TO HAVE SURFACE OR NOSING STRIP WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE 11.2.4 WHEN TESTED IN ACCORDANCE WITH AS4586

NOTE:

STAIRS AND BALUSTRADES TO BE CONSTRUCTED IN ACCORDANCE WITH CERTIFIED MANUFACTURERS SYSTEM



CHECK ON SITE PRIOR TO CONSTRUCTION

F / FLOOR HEIGHT 3205mm

RISERS 17 @ 188.52mm

GOES 18 @ 250mm

TYPICAL STAIR DETAIL

SCALE 1:20

AMENDMENTS			
Rev	Date	Description	Drawn
A	14.03.23	PLANNING ISSUE	C.I.
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C	24.04.23	ENCUMBRANCE RFI	C.I.
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G	31.01.24	CERTIFIER ISSUE	C.I.
H	14.02.24	CERTIFIER RFI	C.I.

SPECTR

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2188

PROJECT
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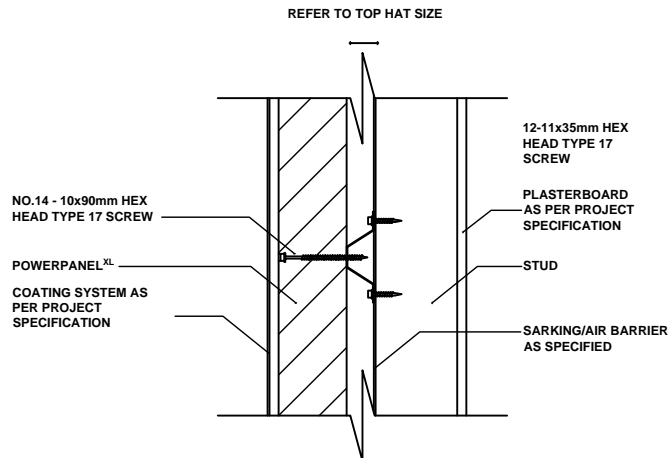
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WD 21 OF 24

CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE DESIGNERS IMMEDIATELY



HEBEL POWERPANEL^{XL} EXTERNAL WALL SYSTEM FIXING DETAIL (ACHIEVES FRL 90/90/90 WHEN INSTALLED AS PART OF THE WALL SYSTEM. SEE SECTION 2.2 OF HEBEL POWERPANEL^{XL} EXTERNAL WALLS DESIGN AND INSTALLATION GUIDE)

SCALE 1:5

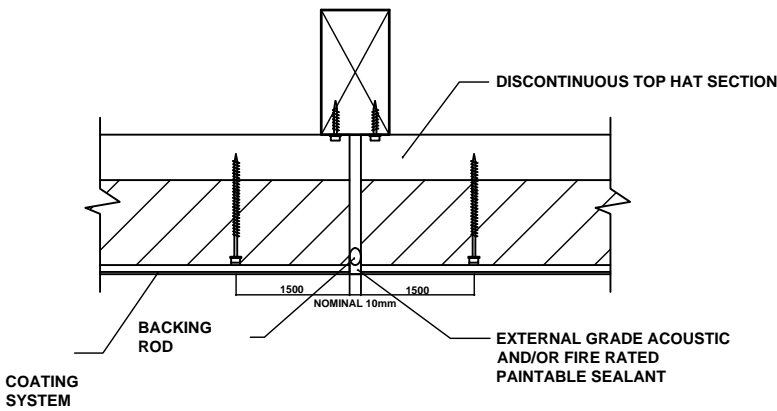
NOTE:
WHEN POSITIONING THE STUD FRAMES ALLOW 5-7mm EXTRA CAVITY WIDTH FOR THE SHEET BRACING BETWEEN TOP HAT AND TIMBER STUD.

IMPORTANT: TOP HAT CLIP IS FIXED ON THE LEFT HAND SIDE OF THE STUD (WHEN LOOKING FROM INSIDE TO THE OUTSIDE OF THE BUILDING) EXCEPT AT THE LAST STUD, ONLY, WHEN THE CLIP MAY BE INSTALLED UPSIDE DOWN.

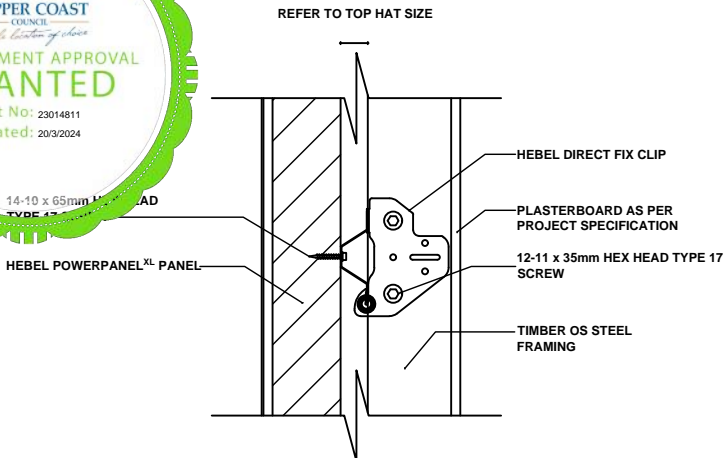
INSTALLING THE CLIP UPSIDE DOWN I.e WHERE THE SCREW FIXING FROM THE CLIP TO THE TOP HAT IS AT THE BOTTOM FLANGE OF THE TOP HAT, WILL BE ACCEPTABLE PROVIDED THAT:

- A: THE UPSIDE DOWN CLIP IS FIXED ON THE RIGHT HAND SIDE OF THE STUD (WHEN LOOKING FROM THE INSIDE TO THE OUTSIDE OF THE BUILDING)
- B: THE UPSIDE DOWN CLIP INSTALLATION IS TO THE LAST STUD OF A WALL RUN (ONLY), SUCH THAT THE SPACING BETWEEN THE LAST AND SECOND LAST STUDS IS NO GREATER THAN 600mm,
- C: THE TOP HAT IS CONTINUOUS IN THIS REGION FOR A MINIMUM OF TWO SPANS I.e TOP HAT EXTENDS ACROSS TWO STUD SPACINGS,
- D: IN ALL OTHER LOCATIONS, CLIPS ARE TO BE INSTALLED TO THE LEFT HAND SIDE OF THE STUD WITH THE SCREW FIXING TO THE TOP SIDE OF THE CLIP I.e INTO THE TOP FLANGE OF THE HORIZONTAL TOP HAT.

HEBEL POWERPANEL^{XL} FIXING & INSTALLATION DETAILS

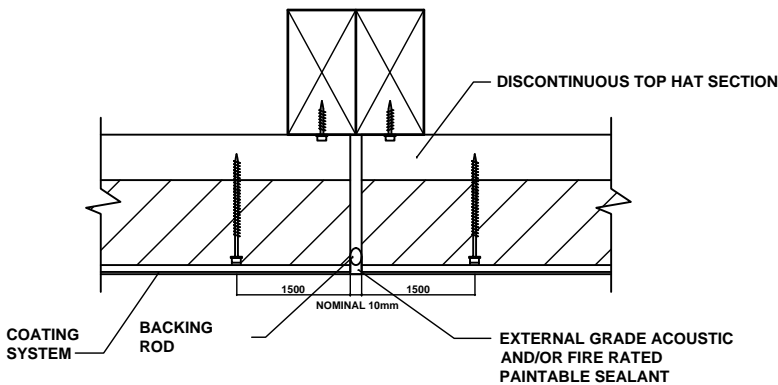
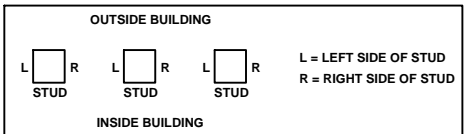


TYPICAL VERTICAL CONTROL JOINT (ACHIEVES FRL -/120/120 WHEN INSTALLED AS PART OF THE WALL SYSTEM. SCALE 1:5)

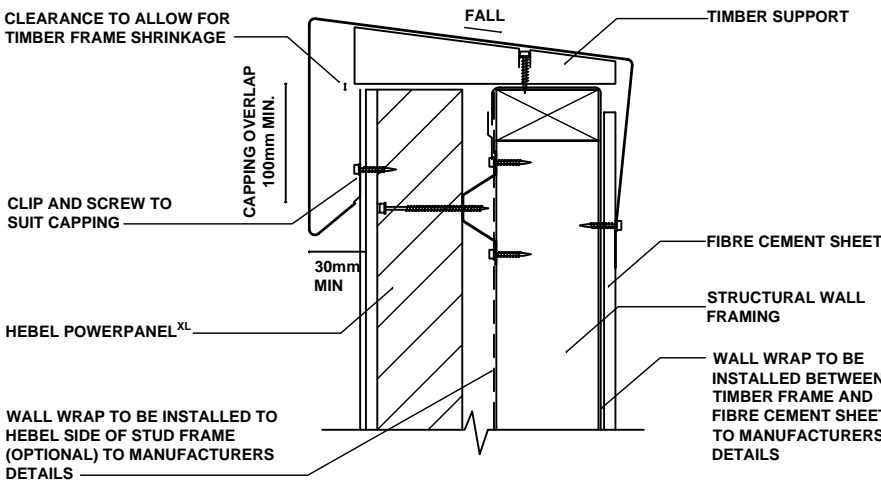
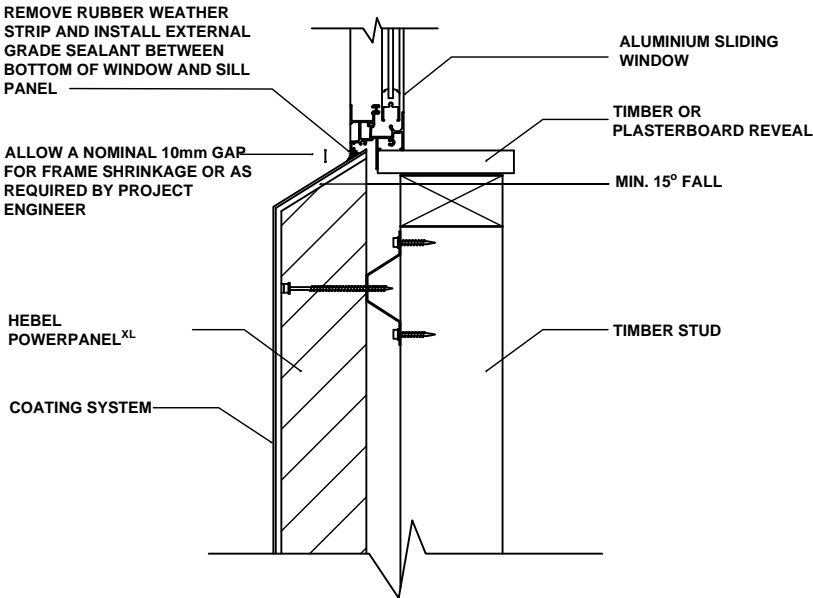


HEBEL POWERPANEL^{XL} DUAL ZERO BOUNDARY WALLS FIXING DETAIL (ACHIEVES FRL 90/90/90 WHEN INSTALLED AS PART OF THE WALL SYSTEM. SEE SECTION 2.2 OF HEBEL POWERPANEL^{XL} EXTERNAL WALLS DESIGN AND INSTALLATION GUIDE)

SCALE 1:5



TYPICAL VERTICAL CONTROL JOINT (DISCONTINUOUS TOP HAT ON A DOUBLE STUD) (ACHIEVES FRL -/120/120 WHEN INSTALLED AS PART OF THE WALL SYSTEM. SCALE 1:5)



PARAPET CAPPING

NOTE:
PARAPET CAPPING SHALL BE DESIGNED AND FASTENED IN ACCORDANCE WITH SAA - HB39 2015 - INSTALLATION CODE FOR METAL ROOFING AND WALL CLADDING. STOP ENDS SHALL BE INCORPORATED TO ALL FLASHINGS.

AMENDMENTS			
Rev	Date	Description	Drawn
A	14.03.23	PLANNING ISSUE	C.I.
B	24.03.23	DEKTON BLADE WALL	C.I.
C	24.04.23	ENCUMBRANCE RFI	C.I.
D	19.06.23	COUNCIL RFI	C.I.
E	31.07.23	CONSULTANT ISSUE	C.I.
F	21.11.23	MINOR CHANGES	C.I.
G	31.01.24	CERTIFIER ISSUE	C.I.
H	14.02.24	CERTIFIER RFI	C.I.

SPECTR	
SUITE 1 / 159 PORT ROAD HINDMARSH SA 5007 T: 8338 2211 F: 8338 2188	
PROJECT PROPOSED RESIDENTIAL DEVELOPMENT AT: LOT 48 LIBERATOR WAY, WALLAROO SHORES	
CLIENT M. & D. KALLIOS	
DRAWN CI	DATE MARCH 2023
SCALE AS SHOWN	
PROJECT No. 16.2023	SHEET No. WD 22 OF 24
CONTRACTORS ARE TO VERIFY ALL DIMENSIONS AND LEVELS ON SITE BEFORE COMMENCING ANY WORK OR MAKING SHOP DRAWINGS. FIGURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS AND ANY DISCREPANCY SHALL BE REPORTED TO THE DESIGNERS IMMEDIATELY	

TYPICAL WINDOW SILL
DETAIL

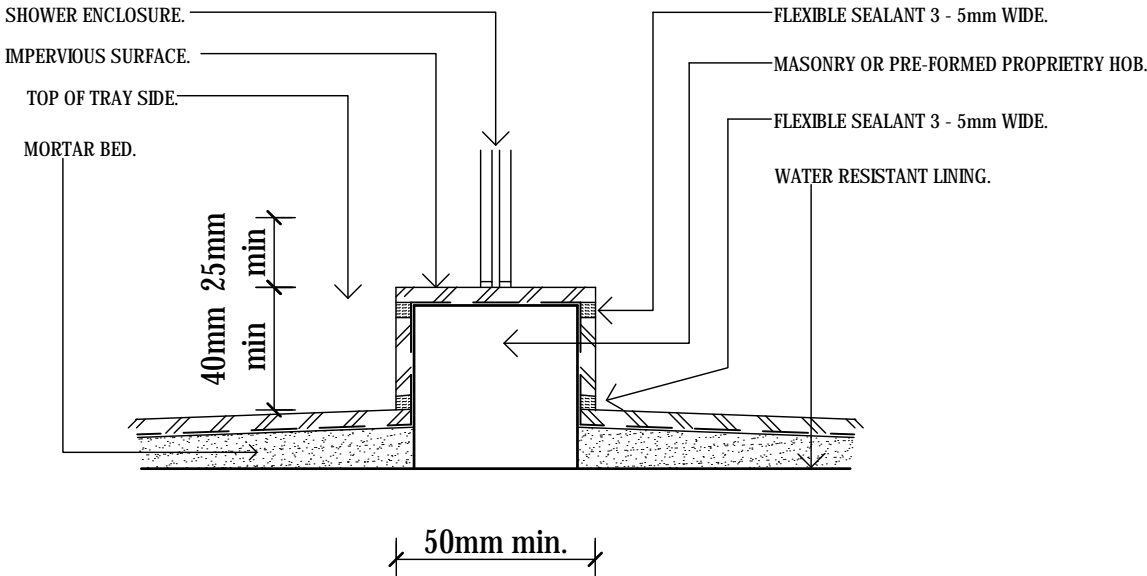


DETAILS

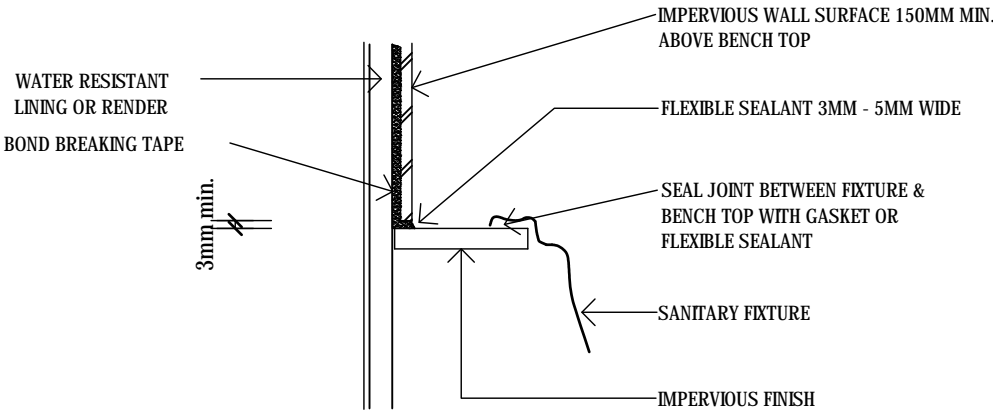
SCALE AS SPECIFIED

WET AREA NOTES:

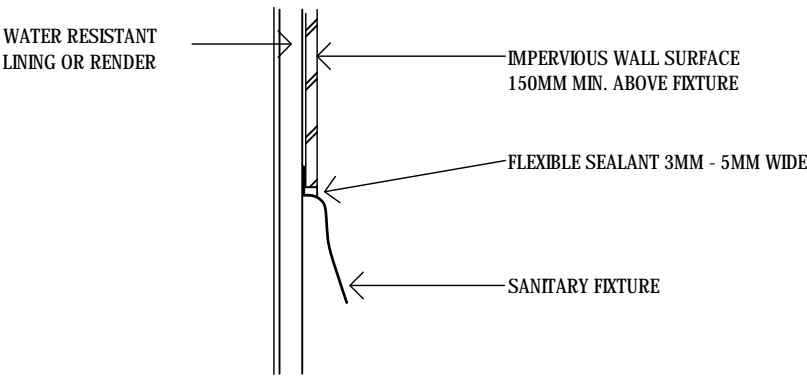
SET DOWN WET AREAS 45mm.
SCREED WITH REQUIRED FALL TO FLOOR TRAP
THE FLOOR OF A WET AREA CONTAINING A VESSEL MUST BE GRADED TO FLOOR WASTE UNLESS ALL VESSELS ARE PROVIDED WITH IN-BUILT OVERFLOW PROTECTION OR HAVE PERMANENT OPEN TRAPPED CONNECTION TO THE PLUMBING IN ACCORDANCE WITH SA 10.2.33.



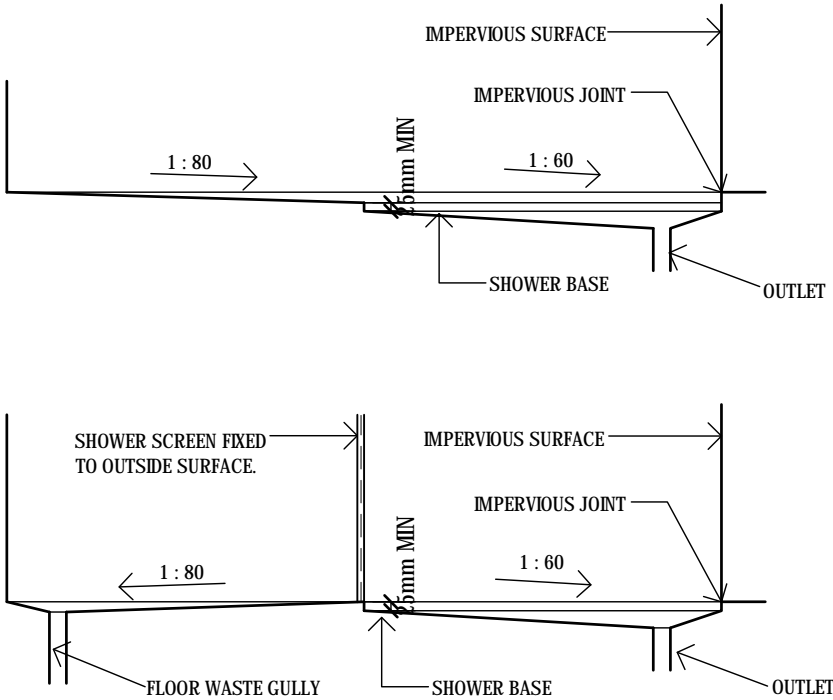
HOB AT SHOWER TRAY



IMPERVIOUS JUNCTION OF FIXTURE & IMPERVIOUS WALL



IMPERVIOUS JUNCTION OF FIXTURE & IMPERVIOUS WALL



SHOWER BASE SETDOWNS & FLOOR GRADIENTS

AMENDMENTS			
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SPECTR

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2188

PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT
AT:
LOT 48 LIBERATOR WAY,
WALLAROO SHORES

CLIENT
M. & D. KALLIOS

DRAWN
CI

DATE
MARCH 2023

SCALE
AS SHOWN

PROJECT No.
16.2023

SHEET No.
WD 23 OF 24

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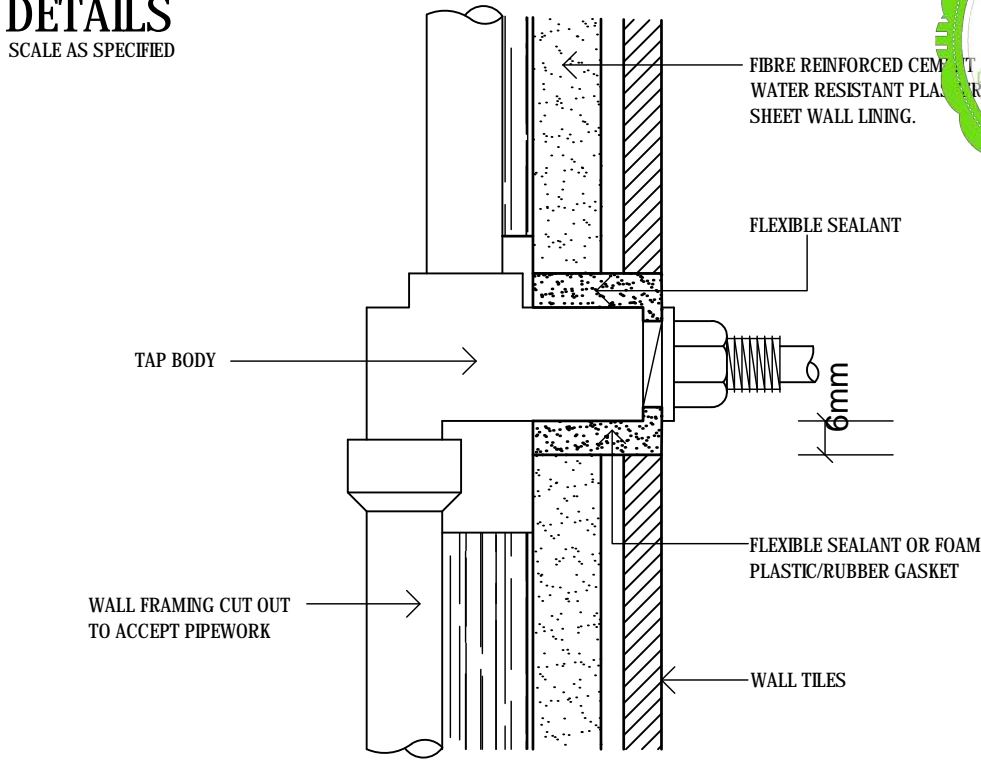
DETAILS
SCALE AS SPECIFIED



FOR CERTIFICATION ONLY

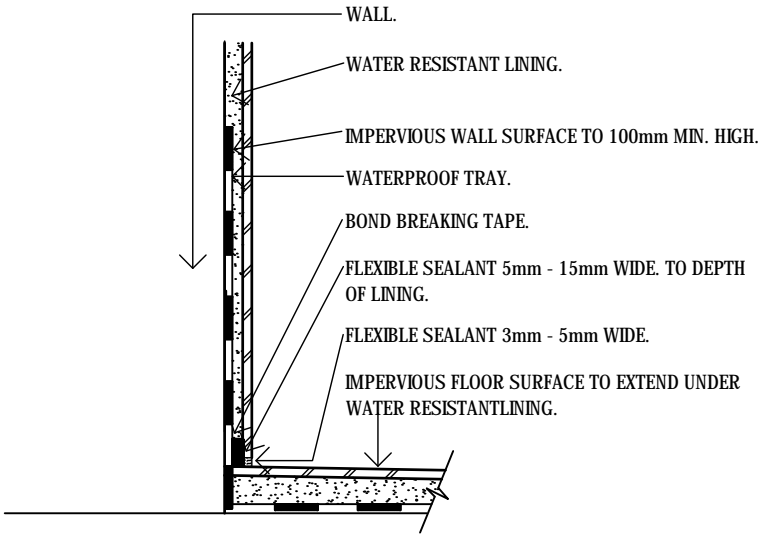
WET AREA NOTES:

SET DOWN WET AREAS 45mm.
SCREED WITH REQUIRED FALL TO FLOOR TRAP
THE FLOOR OF A WET AREA CONTAINING A VESSEL MUST BE GRADED TO FLOOR WASTE UNLESS ALL VESSELS ARE PROVIDED WITH IN-BUILT OVERFLOW PROTECTION OR HAVE PERMANENT OPEN TRAPPED CONNECTION TO THE PLUMBING IN ACCORDANCE WITH SA 10.2.33.

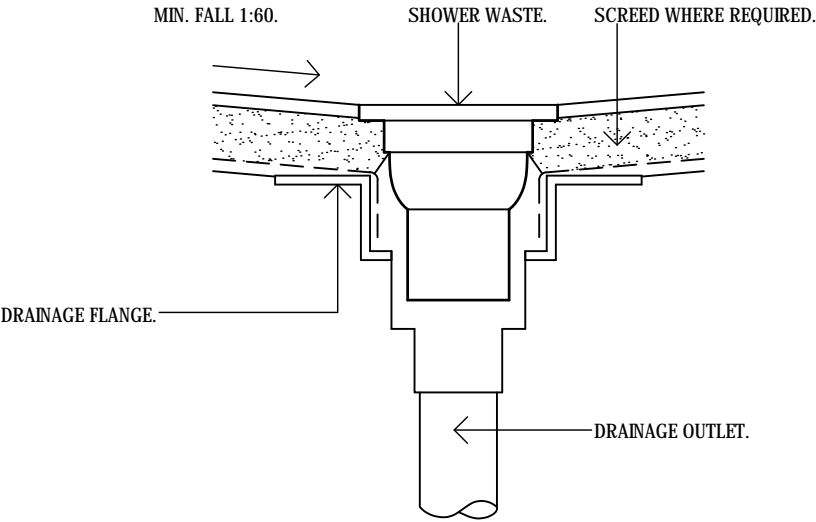


150mm min.

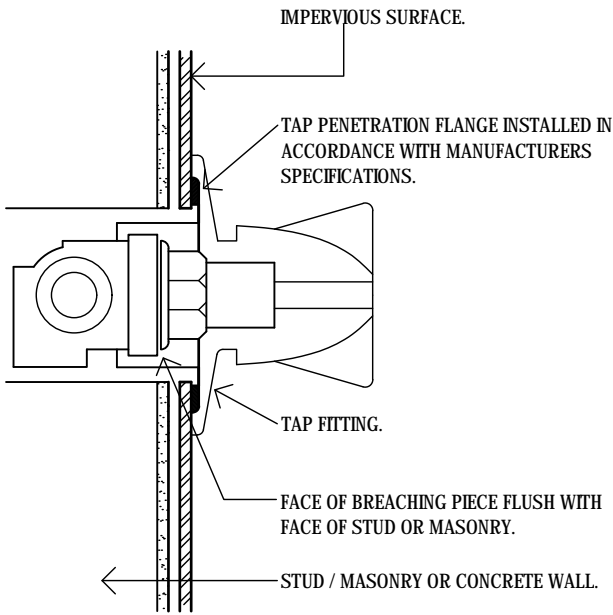
SECTION THROUGH TILED SURFACES



JUNCTION OF IMPERVIOUS WALL
AND IMPERVIOUS FLOOR
(CATEGORY 2)



DETAILS OF FLOOR / SHOWER TRAP



PENETRATIONS THROUGH WALLS
IN SHOWER AREA.

AMENDMENTS			
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SPECTR

SUITE 1 / 159 PORT ROAD
HINDMARSH SA 5007
T: 8338 2211 F: 8338 2188

PROJECT
PROPOSED RESIDENTIAL
DEVELOPMENT
AT:
LOT 48 LIBERATOR WAY,
WALLAROO SHORES

CLIENT
M. & D. KALLIOS

DRAWN
CI
DATE
MARCH 2023

SCALE
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PROJECT No.
16.2023
SHEET No.
WD 24 OF 24

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