

IMPORTANT NOTICE

This document has been digitally signed

This document has been approved as part of a Development Certificate issued in accordance with the provisions of the Environmental Planning and Assessment Act, 1979 (as amended).

In making this determination the document has been digitally signed.



The following are important facts relating to documents and files that have been digitally signed:

- The use of digitally encrypted signatures has been introduced by Local Certification Services Pty Ltd because they provide greater security in verifying the authenticity of documents and files than conventional means of stamping.
- Digital signatures are issued and validated by an independent and legally recognised Certificate Authority.
- A valid digital signature verifies that the content of the document or file has not been altered since the digital signature was applied.
- The digital signature has been applied by the Registered Certifier that has approved the subject Development Certificate and verifies that the document or file was signed by the person to whom the digital signature was issued.
- A valid digital signature verifies that the file and the content of the entire document or file is the same as that issued by the Registered Certifier at the time of the Development Certificate was applied (i.e. not just the page on which it appears).
- Any alteration of the document or file that carries this digital signature will render this document or file invalid and the signatory to this document or file must be contacted personally in order to obtain a replacement copy. The replacement of a digitally signed document may incur an additional fee.
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Should you require any additional information in relation to the use of the digital signatures and this Development Certificate or any related documents please contact Local Certification Services Pty Ltd on Ph: 1300 368 534 during regular business hours on weekdays.

project details

thermal comfort

Note: SHGC may have a tolerance of +/- 10% of the nominated values in NSW only

Skylights	N/A
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water

energy

Landscape Area	273m ²	Hot Water System	Gas Instantaneous 8 Star
W.C's	4 Star	Cooling System	1-Phase Ducted Air-Con EER 3.0-3.5
Kitchen Taps	4 Star	Heating System	1-Phase Ducted Air-Con EER 3.0-3.5
Shower Heads	3 Star (>7.5 but <=9L/min)	Ventilation	As Per Basix Assessment
Basin Taps	4 Star	PV System	N/A
Alternative Water	5900L Rain Water Tank	Cooking	Gas Cooktop & Electric Oven
Min. Roof Area To Tank	150m ²	Drying	Outdoor Clothesline
Alt. Water Uses	W.C, Garden & Laundry	Lighting	As Per BASIX Certificate

swimming pool

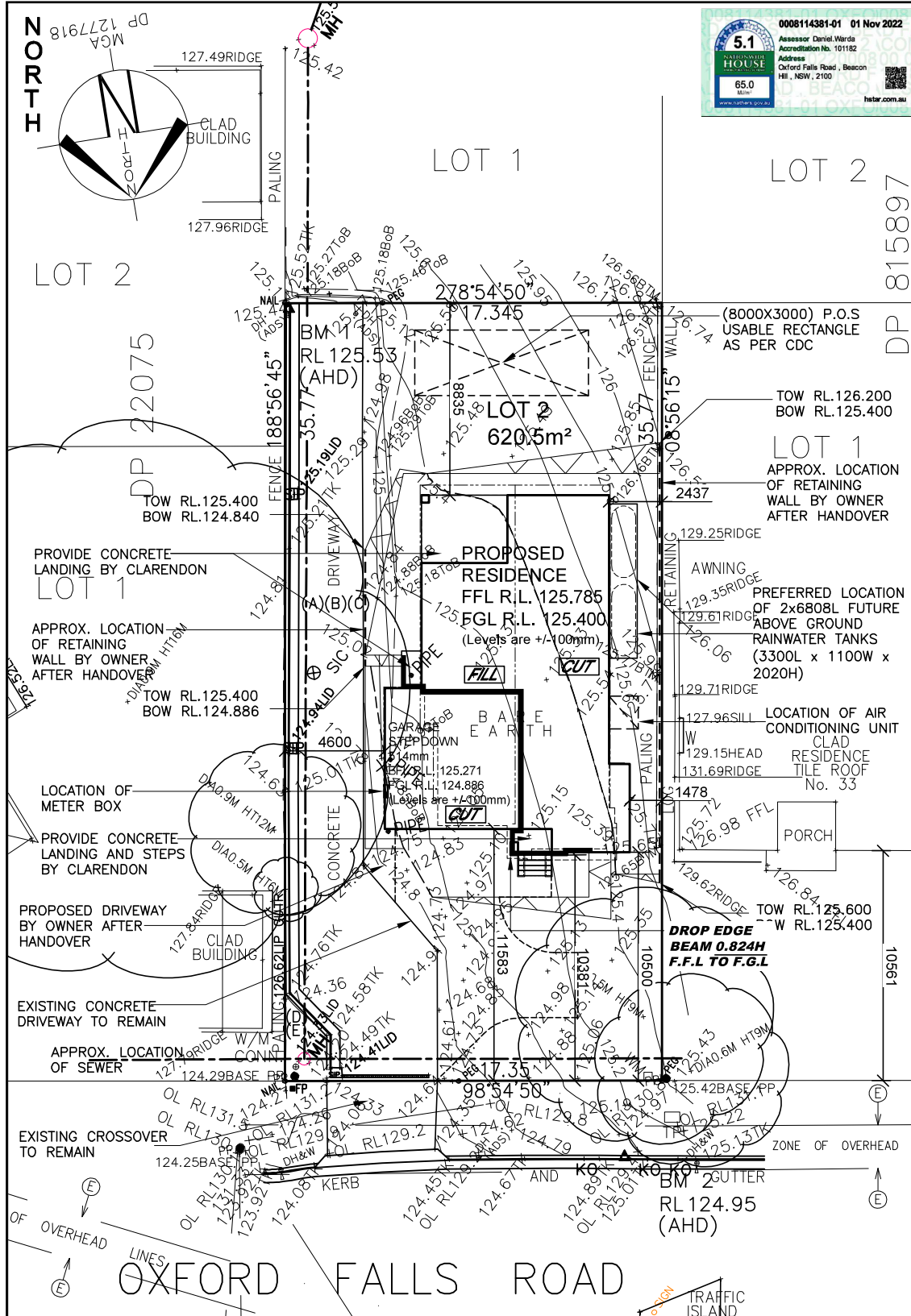
Pool / Spa	N/A
Shading / Timer	N/A
Cover	N/A

Energy

AREAS

SITE:	620.50 m²
GROUND FLOOR:	98.87 m²
FIRST FLOOR:	133.13 m²
GARAGE:	38.97 m²
PORCH:	2.28 m²
BALCONY:	N/A m²
ALFRESCO	12.36 m²
PATIO SLAB	1.53 m²
TOTAL:	287.14 m²

							2.2	NEIGHBOUR NOTIFICATION PLAN
							2.1	CONSTRUCTION MANAGEMENT
QUOTE	DATE	QUOTE NUMBER	REV					
KITCHEN			-					
ZURCORP ELECTRICAL			-					
TILES			-					
CARPET			-					10 WET AREA DETAILS
ZURCORP SECURITY			-	I	07.12.22	CDC DEFERRAL	MJ	9 WET AREA DETAILS
EH1			-	H	01.12.22	AMENDED BASIX	MJ	8 ELECTRICAL LAYOUT
AIR CONDITIONING			-	G	28.11.22	HYDRAULIC CO - ORDINATED	MJ	7 SECTION
STAIRS			-	F	07.11.22	AMENDED BASIX	MJ	6 ELEVATIONS
LANDSCAPE				E	03.11.22	EXTERNAL COLOURS	PG.	5 ELEVATIONS
HYDRAULICS				D	18.10.22	CDC DRAWNGS	AL	4 FIRST FLOOR PLAN
ENGINEER				C	28.09.22	PCV 1	NI	3 GROUND FLOOR PLAN
PEG OUT				B	13.09.22	CONTRACT DRAWINGS	PG.	2a SITE PLAN
				A	16.08.22	TENDER SITING	NI	2 SITE PLAN
				REV	DATE	AMENDMENTS	BY	1 COVER SHEET
OWNER'S SIGNATURE:								SHEET DESCRIPTION



LOT 2
D.P: 1277918
L.G.A: NORTHERN BEACHES

**** C.D.C ****
COMPLYING DEVELOPMENT CERTIFICATE
REFER TO NSW SIMPLIFIED HOUSING CODE

SITE AREA 620.5 m²

ROOF AREA 159.4 m²

FLOOR AREA
GROUND FLOOR AREA: 106.7 m²
FIRST FLOOR AREA: 117.5 m²
TOTAL FLOOR AREA: 224.2 m²
(INCLUDES GARAGE MINUS 18m²)
(EXCLUDES EXTERNAL WALLS, STAIR VOID, ETC.)
MAX. ALLOWABLE BY NSW H/CODE: 335 m²
(25% OF SITE AREA PLUS 150m²)

LANDSCAPED AREA
TOTAL LANDSCAPE AREA: 256.4 m²
(MIN. DIMENSION OF 1.5m) 41.3 %
MIN. REQUIRED BY NSW H/CODE: 30 %

AREA FORWARD OF BUILDING LINE
SITE AREA FORWARD OF B.L.: 180.2 m²
LANDSCAPE AREA: 65.3 m²
36.2 %
MIN. REQUIRED BY NSW H/CODE: 25 %

ARTICULATION ZONE
ARTICULATION ZONE: 26 m²
(SITE WIDTH @ BUILDING LINE x 1.5m)
ARTICULATION AREA: 0 m²
0 %
MAX. REQUIRED BY NSW H/CODE: 25 %

PRIVATE OPEN SPACE
TOTAL OPEN SPACE AREA: 142.2 m²
(MIN. DIMENSION OF 3.0m)
MIN. REQUIRED BY NSW H/CODE: 24 m²

HEIGHT RESTRICTION
MAXIMUM RIDGE HEIGHT 8.5 m
(F.F.L. MUST BE ACCURATE. CHANGES IN LEVELS MAY NOT COMPLY WITH REQUIREMENTS)

BASIX LANDSCAPED AREA
TOTAL LANDSCAPE AREA: 272.9 m²
(EXCLUDES HARD SURFACES) 43.9 %

SITE COVERAGE
STORMWATER CALCULATION
ROOF FOOTPRINT: 159.4 m²
DRIVEWAY/PAVED AREAS: 193.1 m²
TOTAL: 352.5 m²
56.8 %
MAX SITE COVERAGE FOR OSD: 40%

WIND CLASSIFICATION: "N2"
SLAB CLASSIFICATION: "H1"

NOTE:
ALL GROUND LINES ARE APPROXIMATE.
EXTENT OF FILL & BATTER WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE TO BE CUSTOMISED SITE SPECIFIC
RETAINING WALLS TO BE CONSTRUCTED WHOLLY WITHIN PROPERTY BOUNDARY INCLUDING DRAINAGE AND FOOTINGS

STORMWATER TO STREET VIA RAINWATER TANK AND O.S.D
REFER TO HYDRAULIC DETAILS

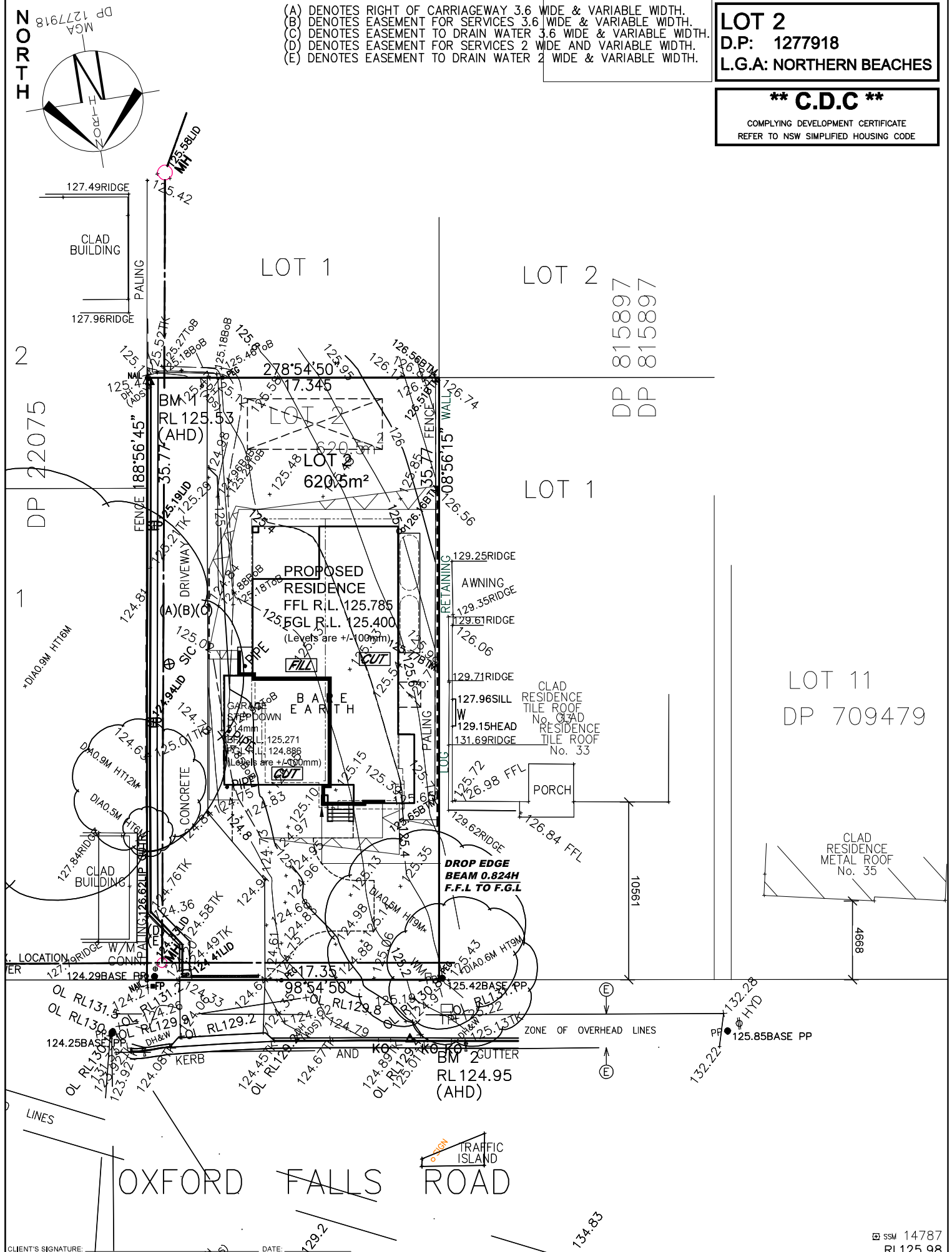
SITE PLAN
SCALE 1:200
GENERAL NOTES
A) THIS SURVEY IS SPECIFICALLY FOR CONTOUR PURPOSES ONLY. THE BOUNDARIES OF THE SUBJECT PROPERTY HAVE NOT BEEN INVESTIGATED
B) AREAS AND DIMENSIONS ARE SUBJECT TO SURVEY
C) SERVICES SHOWN HAVE BEEN DERIVED FROM VISUAL EVIDENCE APPARENT AT THE TIME OF SURVEY. THE RELEVANT SERVICE AUTHORITY SHALL BE CONTACTED TO VERIFY THE EXISTENCE AND POSITION OF ALL SERVICES PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION
D) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.
E) CONTOURS ARE INDICATIVE OF SURFACE TOPOGRAPHY ONLY. SURVEYED SPOT LEVELS ARE THE ONLY VALUES TO BE RELIED ON FOR REDUCED LEVELS ON PARTICULAR FEATURES.
CLIENT'S SIGNATURE: _____ DATE: _____

REFER TO PAGE 7 FOR DRIVEWAY PROFILE

ClarendonHomes Digitally Signed BL No. 22910 A=15.03.2022 Ref: 8061421 Clarendon Homes (NSW) Pty Ltd 21 Solent Circuit, Baulkham Hills NSW 2153 T: (02) 8851 5300	© ALL RIGHTS RESERVED This plan is the property of CLARENDON HOMES (NSW) PTY LTD Any copying or altering of the drawing shall not be undertaken without written permission from CLARENDON HOMES (NSW) PTY LTD # ALL DIMENSIONS TO STRUCTURAL ELEMENTS. DIMENSIONS TO BE READ IN PREFERENCE TO SCALING.	PRODUCT: PADDINGTON 29 MKII Malibu L/H Garage Sapphire Specification	CLIENT: Mr. VALENTIN Mrs. VALENTIN SITE ADDRESS: Lot 2, No. 31 Oxford Falls Road BEACON HILL 2100	CDC DRAWINGS	
				DRAWN: NI RATIO @ A3: 1:200 SHEET: 2	DATE: 16.08.22 CHECKED: A.L. JOB No: 29916218 Rev: I NSW

LOT 2
D.P: 1277918
L.G.A: NORTHERN BEACHES

COMPLYING DEVELOPMENT CERTIFICATE
REFER TO NSW SIMPLIFIED HOUSING CODE









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PRODUCT: PADDINGTON 29 MKII
Malibu
L/H Garage
Sapphire Specification

CLIENT:	Mr. VALENTIN Mrs. VALENTIN
SITE ADDRESS:	Lot 2, No. 31 Oxford Falls Road BEACON HILL 2100

CDC DRAWINGS

DRAWN: NI	DATE: 16.08.22	Rev: I
RATIO @ A3: 1:200	CHECKED: A.L	
SHEET: 2a	JOB No: 29916218	NSW

	EXHAUST FAN
	STEEL POST
	TELESCOPIC STEEL POST
	DOWN PIPE LOCATION
	GARDEN TAP LOCATION
	LIFT OFF HINGES

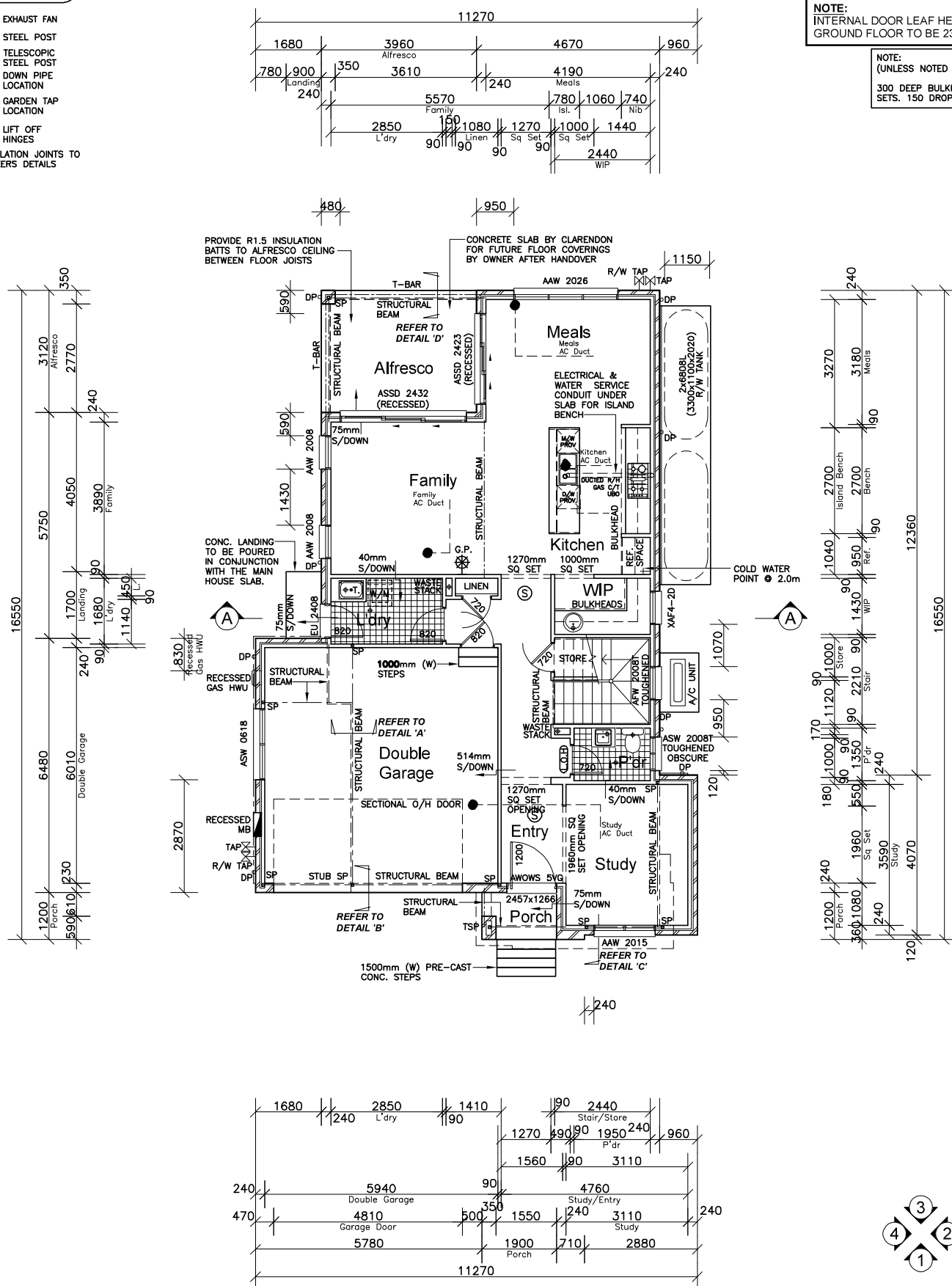
ARTICULATION JOINTS TO
ENGINEERS' DETAILS

NOTE:
PROVIDE GREY EPOXY FLOOR FINISH
TO GARAGE ONLY

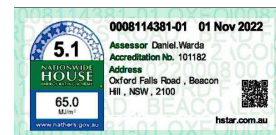
NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND FLOOR TO BE 2340mm(H)

NOTE:
(UNLESS NOTED OTHERWISE)

300 DEEP BULKHEADS & SQ.
SETS. 150 DROPPED CEILINGS



GROUND FLOOR PLAN



CLIENT'S SIGNATURE: _____

DATE _____

ClarendonHomes

BLNo. 2286C
ASIN 18 003 592 706
Ref: 8061421
Road Street (PO BOX 767) Date: 22/12/2022
Clarendon Homes (NSW) P/L
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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PRODUCT:
PADDINGTON 29 MKII
Malibu
L/H Garage

Sapphire Specification

CLIENT:
Mr. VALENTIN
Mrs. VALENTIN

SITE ADDRESS:
Lot 2, No. 31
Oxford Falls Road
BEACON HILL 2100

CDC DRAWINGS

DRAWN: PG.	DATE: 13.09.22	Rev: I
RATIO @ A3: 1:100	CHECKED: A.L	
SHEET: 3	JOB No: 29916218	

NSW

● AIR CONDITIONING DUCT

Ⓢ SMOKE ALARM

⊖ EXHAUST FAN

DP ○ DOWN PIPE LOCATION

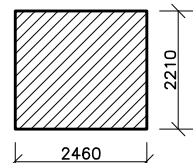
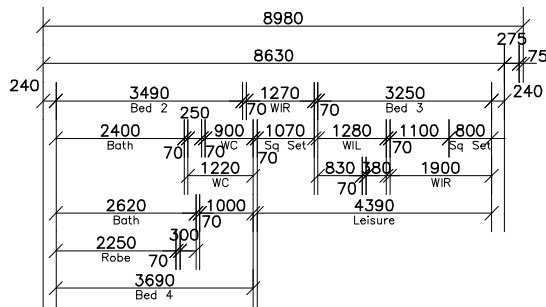
⊕ LIFT OFF HINGES

SP ○ STEEL POST

TSP ○ TELESCOPIC STEEL POST

ARTICULATION JOINTS TO ENGINEERS DETAILS

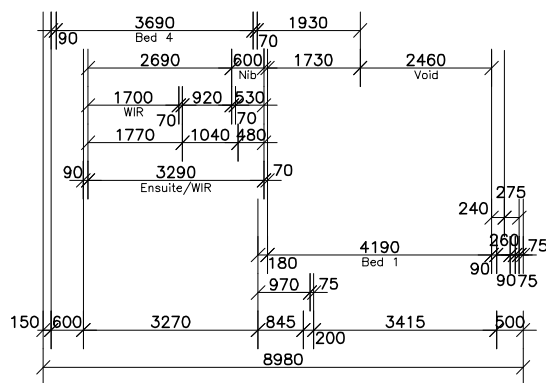
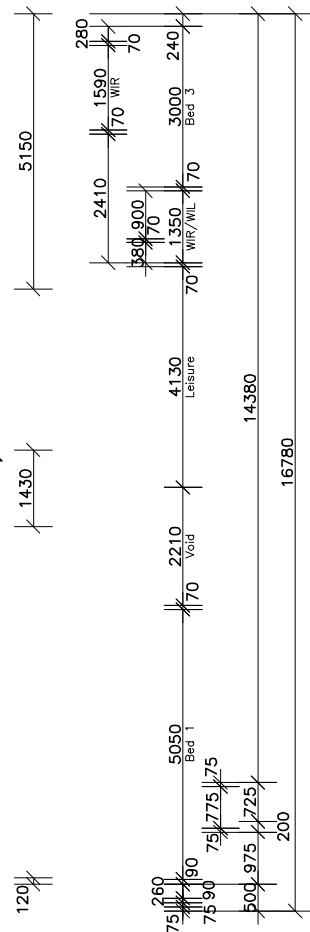
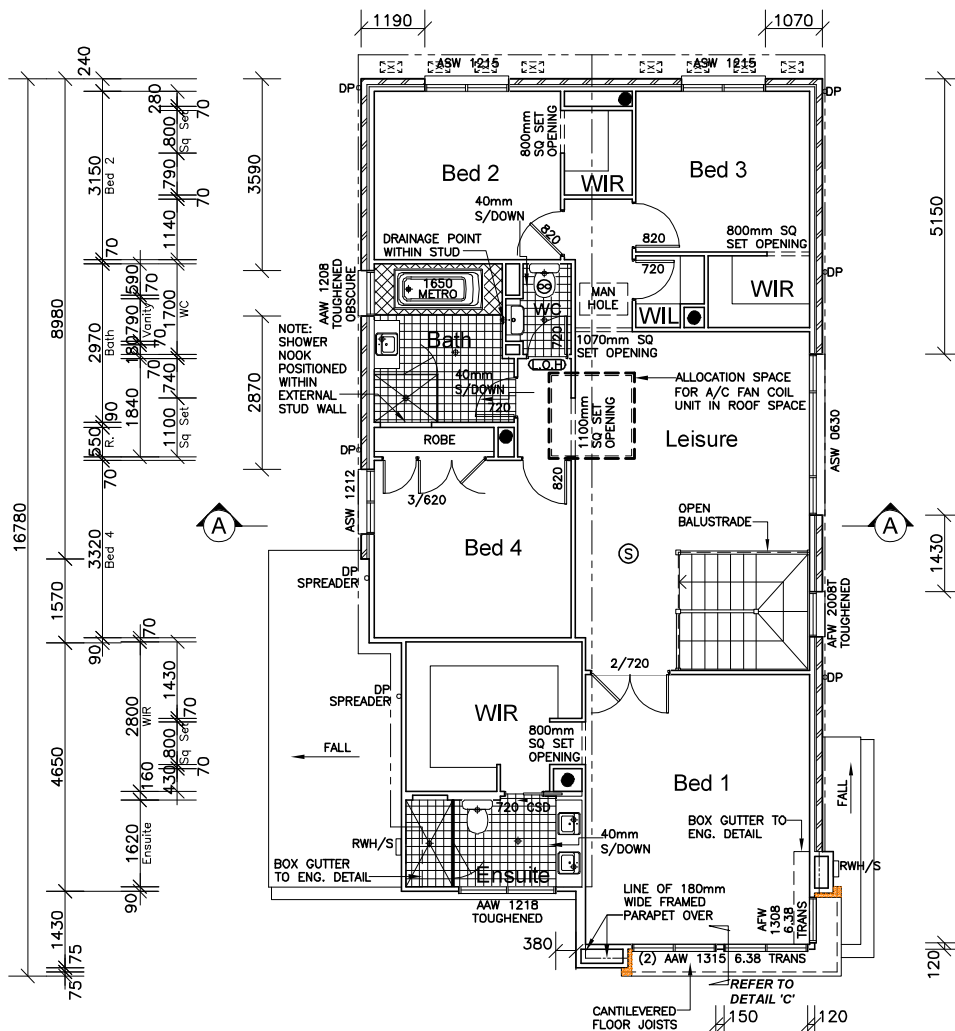
⌈ 7 400x200mm EAVE VENT



STAIR CUTOUT
SCALE 1:100

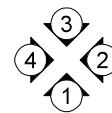
NOTE:
ALL FIRST FLOOR BEDROOM & LIVING WINDOWS TO BE FITTED WITH A RESTRICTING DEVICE COMPLIANT WITH PART 3.9.2.5 OF THE B.C.A - PROTECTION OF OPENABLE WINDOWS

NOTE:
(UNLESS NOTED OTHERWISE)
300 DEEP BULKHEADS & SQ. SETS. 150 DROPPED CEILINGS

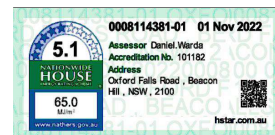


NOTE:
SHOWER NOOK/RECESS REFER TO **CDN 54.260** & SHEET 10 FOR DETAILS

NOTE: Masterwall - 75mm Thick



FIRST FLOOR PLAN



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes
Digitally Signed
B.L. No. 22962
A.S. 15.03.2022 Ref: 8061421
Clarendon Homes (NSW) Pty Ltd
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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Malibu
L/H Garage
Sapphire Specification

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Mrs. VALENTIN
SITE ADDRESS:
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BEACON HILL 2100

CDC DRAWINGS		
DRAWN: PG.	DATE: 13.09.22	Rev: I
RATIO @ A3: 1:100	CHECKED: A.L.	
SHEET: 4	JOB No: 29916218	NSW

DENOTES WINDOWS WITH
6.38MM TRANSLUCENT
GLAZING

DENOTES WINDOWS WITH
OBSCURE GLAZING

Lightweight Cladding 1:
Primeline Newport

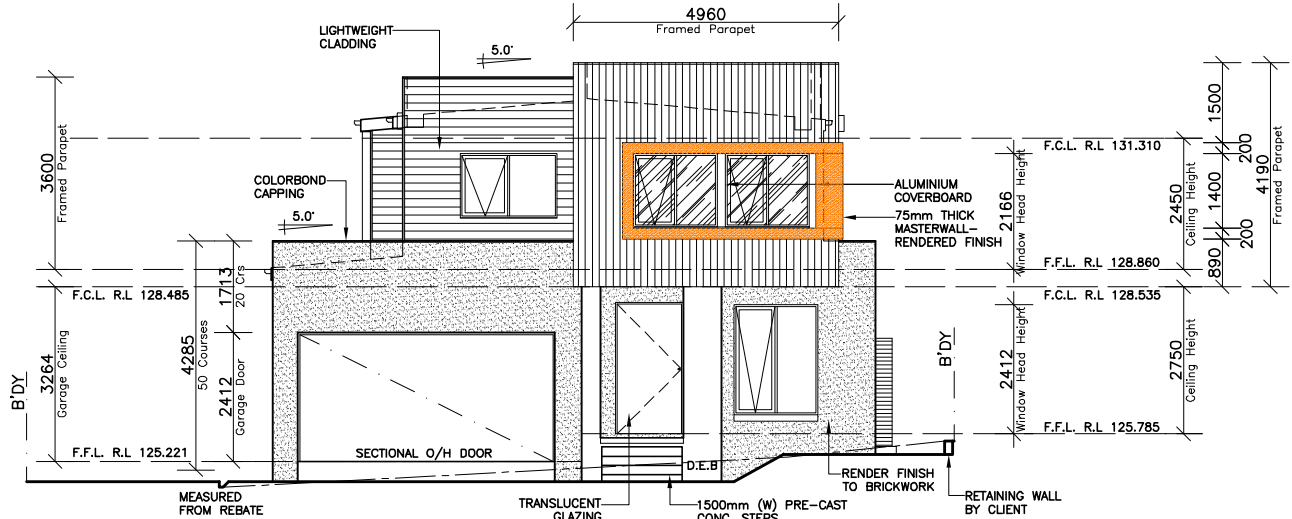
Lightweight Cladding 2:
Axon Smooth 133 vertical

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080

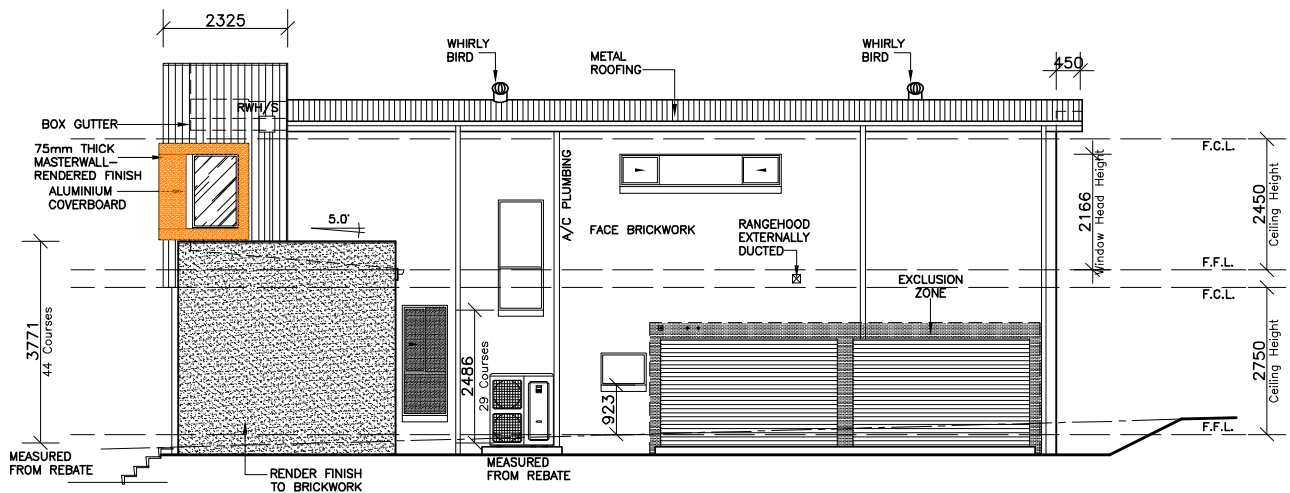
NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS

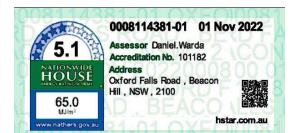
NOTE: Masterwall - 75mm Thick



ELEVATION 1
-NORTH-



ELEVATION 2
-WEST-



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes
Digitally Signed
B.L. No. 22962
A.S. No. 15.003.002 / Ref: 8061421
Clarendon Homes (NSW) Pty Ltd
21 Solent Circuit, Baulkham Hills NSW 2153
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CDC DRAWINGS

DRAWN: PG.	DATE: 13.09.22	Rev:
RATIO @ A3: 1:100	CHECKED: A.L.	I
SHEET: 5	JOB No: 29916218	NSW

DENOTES WINDOWS WITH
OBSCURE GLAZING

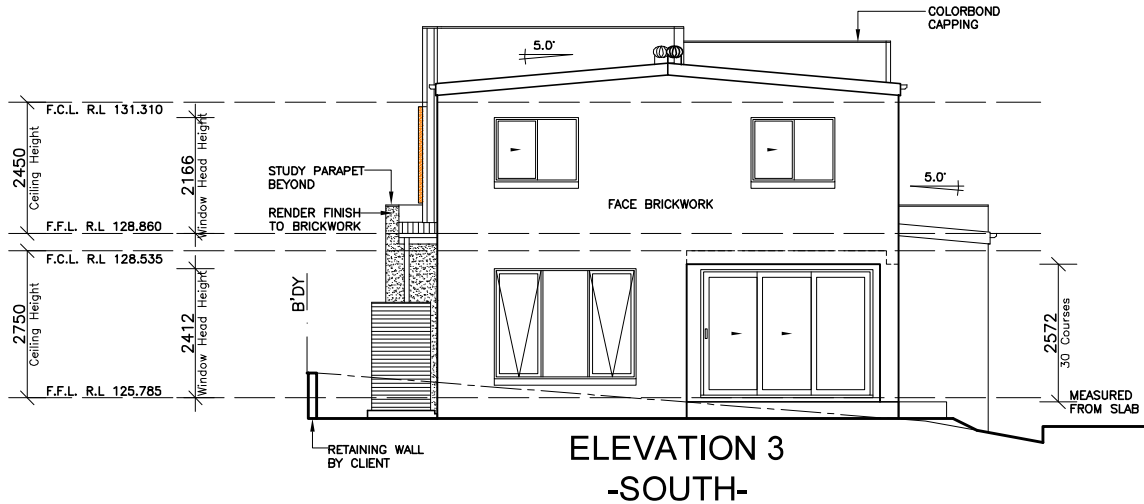
- Lightweight Cladding 1:
Primeline Newport
- Lightweight Cladding 2:
Axon Smooth 133 vertical

NOTES:
FOR DROP-OFF'S REFER
TO FRAMING DETAILS
CDN 21.010-21.080

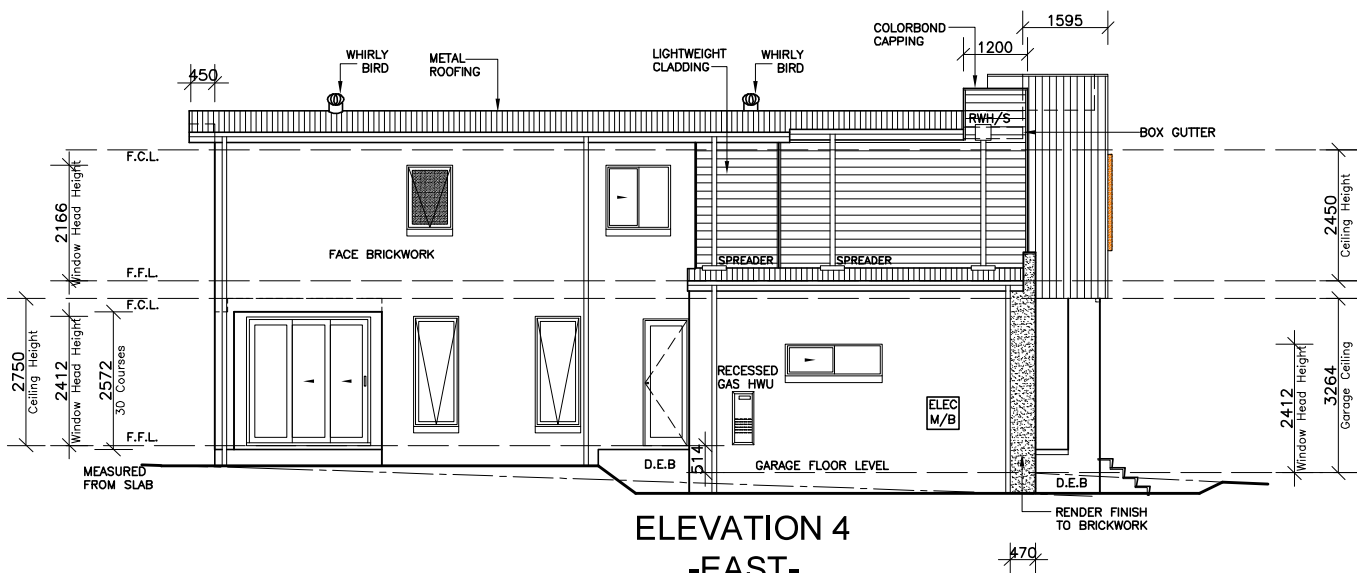
NOTE:
HEIGHT OF DROP EDGE BEAM MAY
VARY DUE TO SITE CONDITIONS
UPON COMPLETION OF SITE WORKS

NOTE:
NUMBER OF STEPS REQUIRED MAY
VARY DEPENDING ON SITE
CONDITIONS

NOTE: Masterwall - 75mm Thick



ELEVATION 4
-EAST-



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes
Digitally Signed

BL No. 22962
A/N 15.03.2022
Ref: 8061421
Clarendon Homes (NSW) Pty Ltd
21 Solent Circuit, Baulkham Hills NSW 2153
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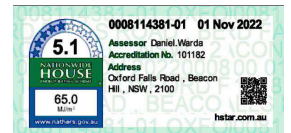
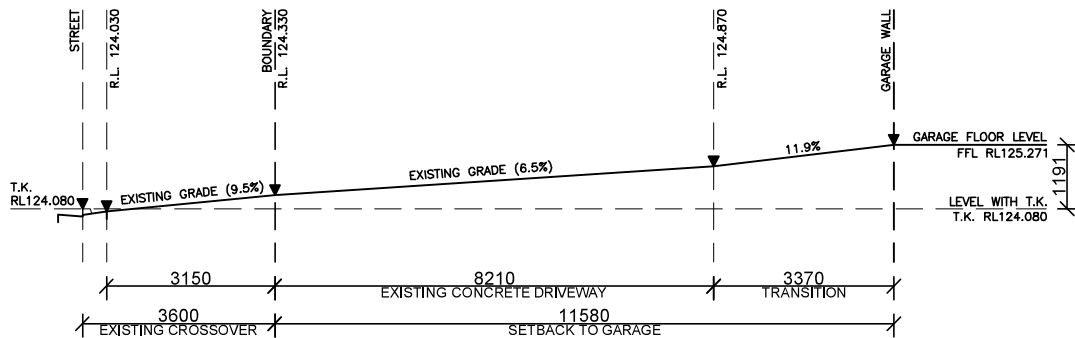
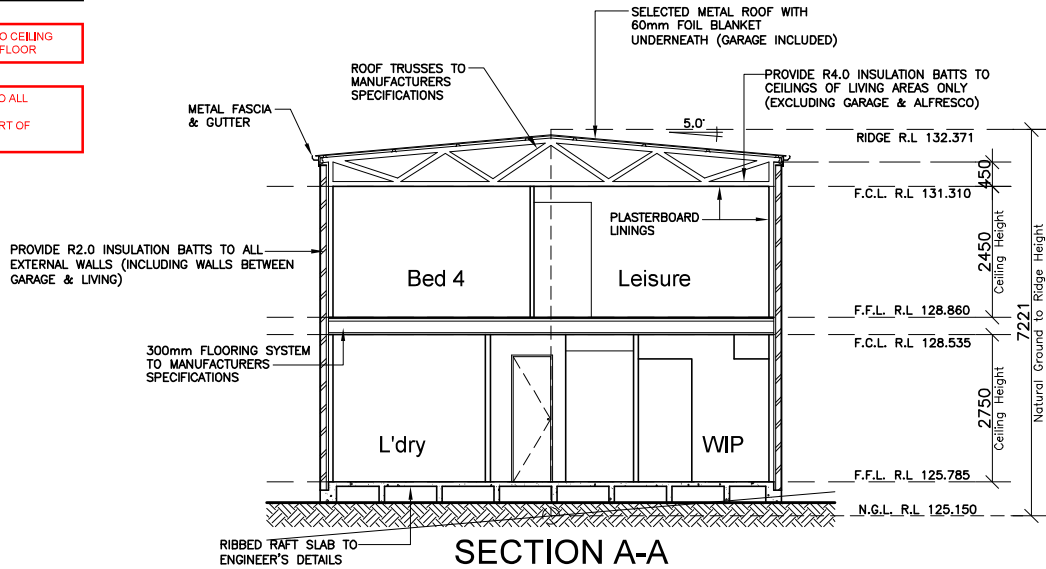
CDC DRAWINGS

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RATIO @ A3: 1:100	CHECKED: A.L	I
SHEET: 6	JOB No: 29916218	NSW

NOTE:
INTERNAL DOOR LEAF HEIGHTS TO
GROUND FLOOR TO BE 2340mm(H)

PROVIDE R4.0 INSULATION BATTS TO CEILING
JOISTS BETWEEN GARAGE & FIRST FLOOR

PROVIDE R4.0 INSULATION BATTS TO ALL
SUSPENDED FLOOR OVERHANG
(R3.5 INSULATION INSTALLED AS PART OF
CONSTRUCTION METHOD)



CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes
Digitally Signed

BL No. 22910
A 15 001 007
Ref: 8061421
Clarendon Homes (NSW) Pty Ltd
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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PRODUCT:
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Malibu
L/H Garage
Sapphire Specification

CLIENT:
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Mrs. VALENTIN
SITE ADDRESS:
Lot 2, No. 31
Oxford Falls Road
BEACON HILL 2100

CDC DRAWINGS

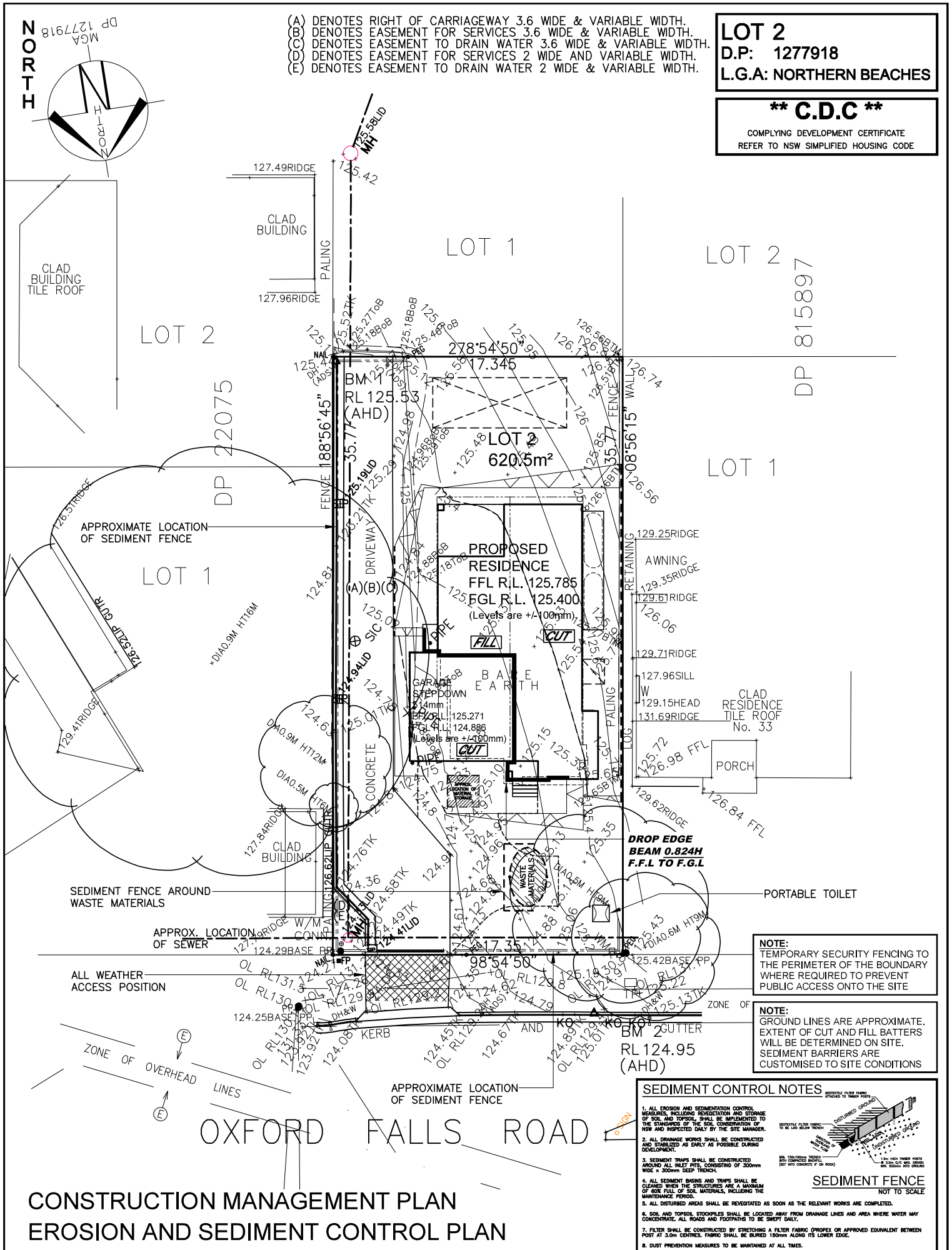
DRAWN: PG.	DATE: 13.09.22	Rev:
RATIO @ A3 1:100	CHECKED: A.L.	I
SHEET: 7	JOB No: 29916218	NSW

- (A) DENOTES RIGHT OF CARRIAGEWAY 3.6 WIDE & VARIABLE WIDTH.
 (B) DENOTES EASEMENT FOR SERVICES 3.6 WIDE & VARIABLE WIDTH.
 (C) DENOTES EASEMENT TO DRAIN WATER 3.6 WIDE & VARIABLE WIDTH.
 (D) DENOTES EASEMENT FOR SERVICES 2 WIDE AND VARIABLE WIDTH.
 (E) DENOTES EASEMENT TO DRAIN WATER 2 WIDE & VARIABLE WIDTH.

LOT 2
D.P: 1277918
L.G.A: NORTHERN BEACHES

**** C.D.C ****

COMPLYING DEVELOPMENT CERTIFICATE
 REFER TO NSW SIMPLIFIED HOUSING CODE



NOTE:
 TEMPORARY SECURITY FENCING TO THE PERIMETER OF THE BOUNDARY WHERE REQUIRED TO PREVENT PUBLIC ACCESS ONTO THE SITE

NOTE:
 GROUND LINES ARE APPROXIMATE. EXTENT OF CUT AND FILL BATTERS WILL BE DETERMINED ON SITE. SEDIMENT BARRIERS ARE CUSTOMISED TO SITE CONDITIONS

SEDIMENT CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING REVEGETATION AND STORAGE OF SOIL AND TOPSOIL, SHALL BE IMPLEMENTED TO THE STANDARDS OF THE SOIL CONSERVATION OF NSW AND INSPECTED DAILY BY THE SITE MANAGER.
2. ALL DRAINAGE WORKS SHALL BE CONSTRUCTED AND STABILISED AS EARLY AS POSSIBLE DURING DEVELOPMENT.
3. SEDIMENT TRAPS SHALL BE CONSTRUCTED AROUND ALL INLET PITS, CONSISTING OF 300mm WIDE x 300mm DEEP TRENCH.
4. ALL SEDIMENT BASINS AND TRAPS SHALL BE CLEARED WHEN THE STRUCTURES ARE A MAXIMUM OF 60% FULL OF SOIL MATERIALS, INCLUDING THE MAINTENANCE PERIOD.
5. ALL DISTURBED AREAS SHALL BE REVEGETATED AS SOON AS THE RELEVANT WORKS ARE COMPLETED.
6. SOIL AND TOPSOIL STOCKPILES SHALL BE LOCATED AWAY FROM DRAINAGE LINES AND AREA WHERE WATER MAY CONCENTRATE. ALL ROADS AND FOOTPATHS TO BE SWEEP DAILY.
7. FILTER SHALL BE CONSTRUCTED BY STRETCHING A FILTER FABRIC (PROPEX OR APPROVED EQUIVALENT BETWEEN POST AT 3.0M CENTRES. FABRIC SHALL BE BURIED 150mm ALONG ITS LOWER EDGE.
8. DUST PREVENTION MEASURES TO BE MAINTAINED AT ALL TIMES.

SEDIMENT FENCE
 NOT TO SCALE

CONSTRUCTION MANAGEMENT PLAN EROSION AND SEDIMENT CONTROL PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes
 Digitally Signed
 B/L No. 22910
 A/S 15 03 12 22
 Ref: 8061421
 Date: 22/12/2022
 21 Solent Circuit, Baulkham Hills NSW 2153
 T: (02) 8851 5300

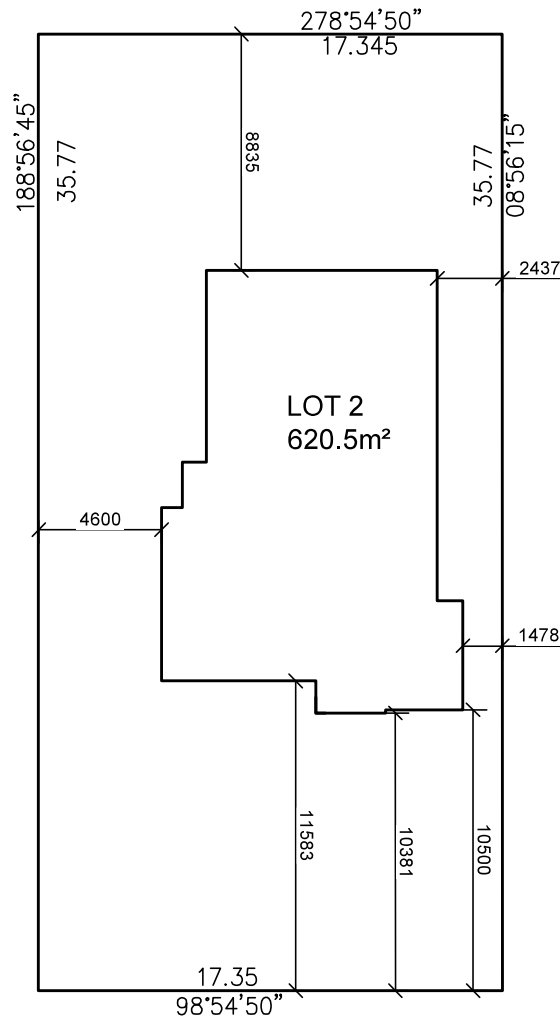
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PADDINGTON 29 MKII
 Malibu
 L/H Garage
 Sapphire Specification

CLIENT:
 Mr. VALENTIN
 Mrs. VALENTIN
 SITE ADDRESS:
 Lot 2, No. 31
 Oxford Falls Road
 BEACON HILL 2100

CDC DRAWINGS

DRAWN: PG.	DATE: 13.09.22	Rev: I
RATIO @ A3 1:200	CHECKED: A.L.	
SHEET: 2.1	JOB No: 29916218	NSW



OXFORD FALLS ROAD

NEIGHBOUR NOTIFICATION PLAN

CLIENT'S SIGNATURE: _____ DATE: _____

ClarendonHomes
Digitally Signed
BL No: 22910
AS/NZS 2642
Clarendon Homes (NSW) Pty Ltd
21 Solent Circuit, Baulkham Hills NSW 2153
T: (02) 8851 5300

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