

Orig. LF 11318900



11:59 23-Dec-2009

4 of 4

Fees: \$0.00

LANDS TITLES REGISTRATION
OFFICE
SOUTH AUSTRALIA

LODGEMENT FOR FILING UNDER
THE COMMUNITY TITLES ACT 1996

FORM APPROVED BY THE REGISTRAR-GENERAL

**BELOW THIS LINE FOR OFFICE &
STAMP DUTY PURPOSES ONLY**

Prefix
LF
Series No.
4

BELOW THIS LINE FOR AGENT USE ONLY

AGENT CODE

Lodged by:

PSARROS & ALLEN CONVEYANCERS PSAL67

Correction to:

PSARROS & ALLEN CONVEYANCERS PSAL67

TITLES, CROWN LEASES, DECLARATIONS ETC. LODGED WITH
INSTRUMENT (TO BE FILLED IN BY PERSON LODGING)

- 1
- 2
- 3
- 4

Lands Services Group

11:01 04/01/2010 02-002530

REGISTRATION FEE \$117.00

PICK-UP NO.	
CP	

DELIVERY INSTRUCTIONS (Agent to complete)
PLEASE DELIVER THE FOLLOWING ITEM(S) TO THE
UNDERMENTIONED AGENT(S)

ITEM(S)	AGENT CODE

CORRECTION	PASSED
FILED 5.1.2010 pro REGISTRAR-GENERAL	

R-G 010107

COMMUNITY TITLES ACT 1996

DEVELOPMENT CONTRACT

COMMUNITY CORPORATION NO. 25869 INC.

**ADDRESS: 2 ALDINGA BEACH ROAD
ALDINGA BEACH SA 5173**

Certified correctly, prepared in accordance with the requirements of the Community Titles Act 1996 by the person who prepared the document.

..... 

Lina Psarros

Unit 5, 72-78 Carrington Street, Adelaide SA 5000

✓

COMMUNITY PLAN NO. 25869

INDEX

1. Interpretation
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1. Interpretation

In this Development Contract:

- 1.1 "Act" means the Community Titles Act 1996;
- 1.2 "By-Laws" means the By-Laws filed with this Development Contract;
- 1.3 "Plan of Community Division" means the plan attached hereto and marked "A";
- 1.4 "Common Property" means the Common Property defined in the Plan of Community Division;
- 1.5 "Community Parcel" means the land situated in the State of South Australia being the whole of the land in Volume 5311 Folio 914, Volume 5469 Folio 382, and Volume 5432 Folio 449
- 1.6 "Corporation" means the Community Corporation established when the Plan of Community Division is deposited by the Registrar General in the Lands Titles Registration Office;
- 1.7 "Council" means the City of Onkaparinga;
- 1.8 "Developer" means QK Developments (No.10) Pty Ltd A C N 126 982 885 being the registered proprietor of the Community Parcel prior to deposit of the Plan of Community Division;
- 1.9 "Development Consent" means the development authorization under the Development Act 1993 approved by the Council as amended or modified from time to time in Development No. 4078/2007 ;
- 1.10 "the Development" means the development referred to in clause 3 of this Development Contract;
- 1.11 "Landscaping Plan" means the plan attached hereto showing the areas to be landscaped and the nature of the landscaping and marked "B".
- 1.12 "Lots 1 to 10 " means the ten (10) community lots to be created when the Community Division is deposited by the Registrar General in the Lands Titles Registration Office.

- 1.13 "Pictorial Representation" means the representation of the Development and the Common Property depicted on the plan attached hereto and marked "C".

2. Important Notice

- 2.1 This Development Contract contains details of a community scheme which is proposed to be developed on the Community Parcel.

Interested parties are advised that the obligations contained in this Development Contract may only be varied or terminated in accordance with the provisions of Sections 50, 69 (8) or 70 (8) of the Act.

- 2.2 This Development Contract should not be considered alone, but in conjunction with the results of searches and enquiries made in respect of the community scheme concerned. Attention is drawn in particular to the By-Laws which set out the management rules governing this community scheme and which provide details of the rights and obligations of lot owners under this community scheme and the manner in which the community scheme will be developed by the Developer.

- 2.3 Further particulars about details of the scheme are available at:

2.3.1. the Council; and

2.3.2. the Development Assessment Commission.

- 2.4 The terms of this Development Contract are binding on the Developer who undertakes to develop the Community Parcel in accordance with Development Consent.

3. Description of Development

The community parcel is to be divided into ten (10) separate community lots and common property as delineated on the Plan of Community Division.

4. Common Property

The Developer will construct or cause to be constructed a driveway, visitors car park and landscaping on the common property, for use by the owners and occupiers of lots 1 to 10 as depicted on the Plan of Community Division and the Landscaping Plan.

5. Developer's Authorizations

Development authorization under the Development Act 1993 has been obtained to enable the proposed development to be undertaken by the Developer. The obligations of the Developer under this Development Contract are expressly subject to such planning authorization.

6. Developer's Undertakings

- 6.1. The Developer undertakes to the owners and occupiers from time to time of the community lots and to the Corporation that in carrying out the proposed development it will interfere as little as is reasonably practicable with the use and enjoyment by the owners and occupiers of lots 1 to 10 and the Common Property.
- 6.2. The Developer undertakes to construct or cause to be constructed 10 two storey brick veneer dwellings of the design, appearance and of the materials depicted on the Pictorial Representation.
- 6.3. The Developer undertakes to the owners and occupiers from time to time of the community lots and the Corporation that it will pay the costs of repairing any damage caused by the Developer to lots 1 to 10 or to the Common Property or to any building or other property on any community lot or the Common Property.

7. Timing of Development Work

Construction of the driveway and landscaping works may be carried out between Monday to Friday of each week between the hours of 8.00 am and 5.30 pm and on Saturday between the hours of 9.00 am and 4.00 pm. In accordance with the Scheme Description the Developer estimated that the time for completion date of the Development would be the 31 January 2010.

8. Access

In performing the obligations of this Contract, the Developer or owner of each community lot (personally and by their agents, employees or contractors) may take access by any means over the common property and may occupy and have access to any part of the community parcel which is reasonably necessary to perform any obligations under this Contract.

9. Theme and Architectural Design and Standard

The standard of work to be performed and the materials to be used for the improvements is to be fair average standard or such higher standard as the Developer in his absolute discretion may determine.

10. Services

- 10.1 Electricity-wiring and telephone-wiring are to be provided and installed by the Developer so that each community lot can be connected to electricity and telephone.
- 10.2 The electricity wiring and telephone wiring are to be constructed underground within the common property.

DATED the 23rd day of November 2009

EXECUTED AS AN AGREEMENT

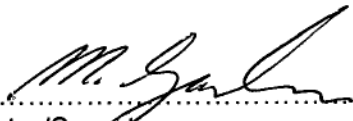
Executed by

QK DEVELOPMENTS (NO.10) PTY LTD

in accordance with the Corporations Act in the presence of:-



.....
Director

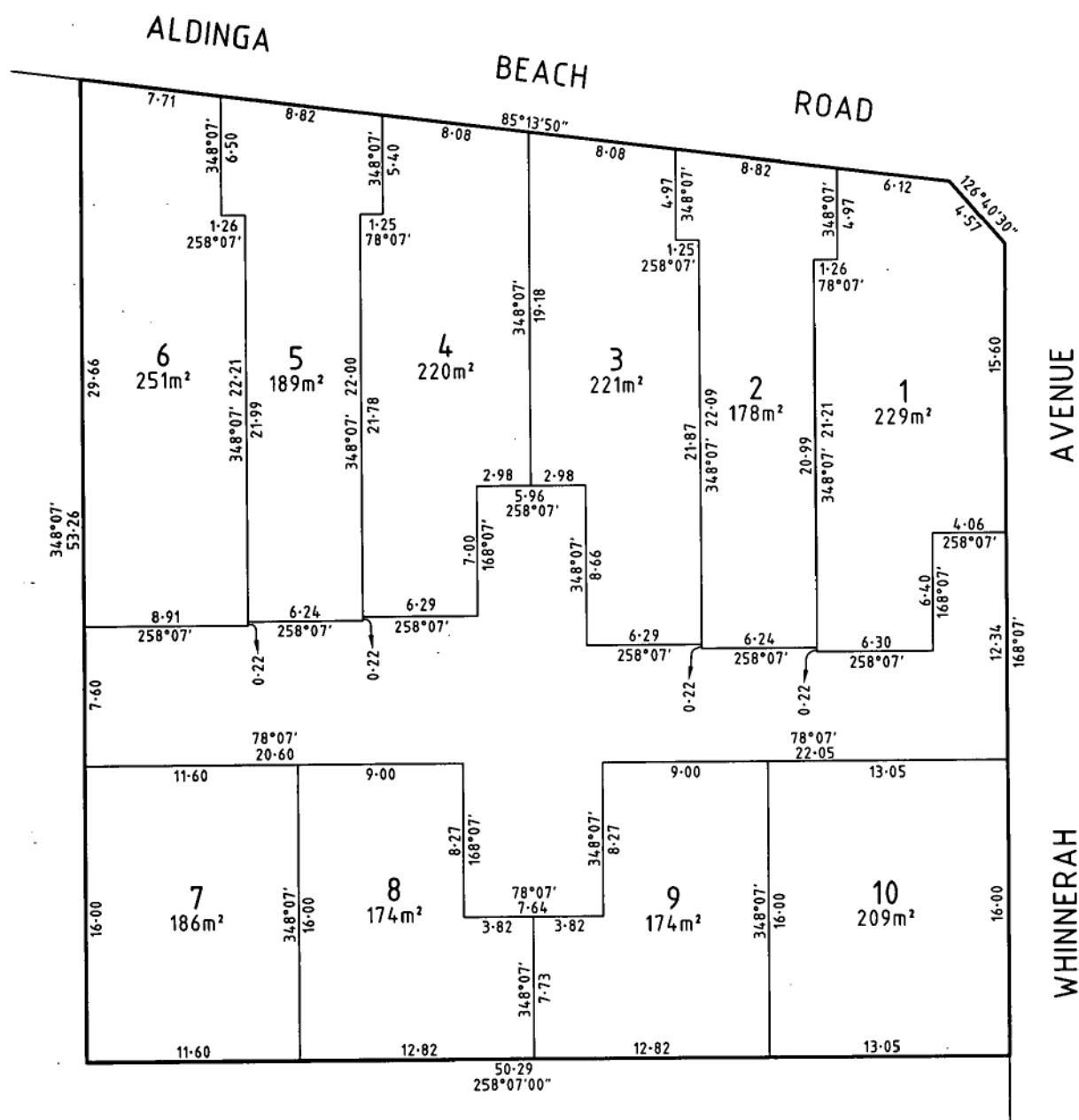


.....
Director/Secretary

A – PLAN OF DIVISION

PURPOSE:	PRIMARY COMMUNITY	AREA NAME:	ALDINGA BEACH	APPROVED:		SHEET 1 OF 3
MAP REF:	6527/26/K	COUNCIL:	CITY OF ONKAPARINGA	DEPOSITED/FILED:		
LAST PLAN:	FX52488	DEVELOPMENT NO:	145/C077/09			VO1
AGENT DETAILS: LOCK SURVEYS LICENSED AND ENGINEERING SURVEYS 87 SPRINGBANK ROAD CLAPHAM SA 5062 PH (08) 8277 9552 FAX (08) 8357 6491 MOBILE 0407 719455 DATE: 05/02/09 Email locksveys@bigpond.com.au		SURVEYORS I, Michael Grant LOCK a licensed Surveyor under the Survey Act 1992, certify that this		I am uncertain about the location of that part of the service infrastructure shown between the points marked A and C on the plan and this community plan has been correctly prepared in accordance with the Community Titles Act 1996 to a scale prescribed by regulation		
AGENT CODE: LOCK REFERENCE: 08081		Dated the day of 20 Michael Grant LOCK Licensed Surveyor				
SUBJECT TITLE DETAILS:						
PREFIX	VOLUME	FOLIO	OTHER	PARCEL	NUMBER	PLAN
CT	5469	382		ALLOTMENT(S)	24	D
CT	5432	499		ALLOTMENT(S)	25	D
CT	5311	914		ALLOTMENT(S)	26	D
					NUMBER	HUNDRED / IA / DIVISION
					3244	WILLUNGA
					3244	WILLUNGA
					3244	WILLUNGA
OTHER TITLES AFFECTED:						
EASEMENT DETAILS:						
STATUS	LAND BURDENED	FORM	CATEGORY	IDENTIFIER	PURPOSE	IN FAVOUR OF
ANNOTATIONS: THE SERVICE INFRASTRUCTURE WAS NOT IN PLACE AS AT 1st OCTOBER 2008						
					REFERENCE NUMBER	CREATION

LOCK SURVEYS
LICENSED AND ENGINEERING SURVEYS
187 SPRINGBANK ROAD CLAPHAM SA 5062
PH (08) 8277 9552 FAX (08) 8357 6491
MOBILE 04 07 719455
Email locksveys@bigpond.com.au
REF 08081



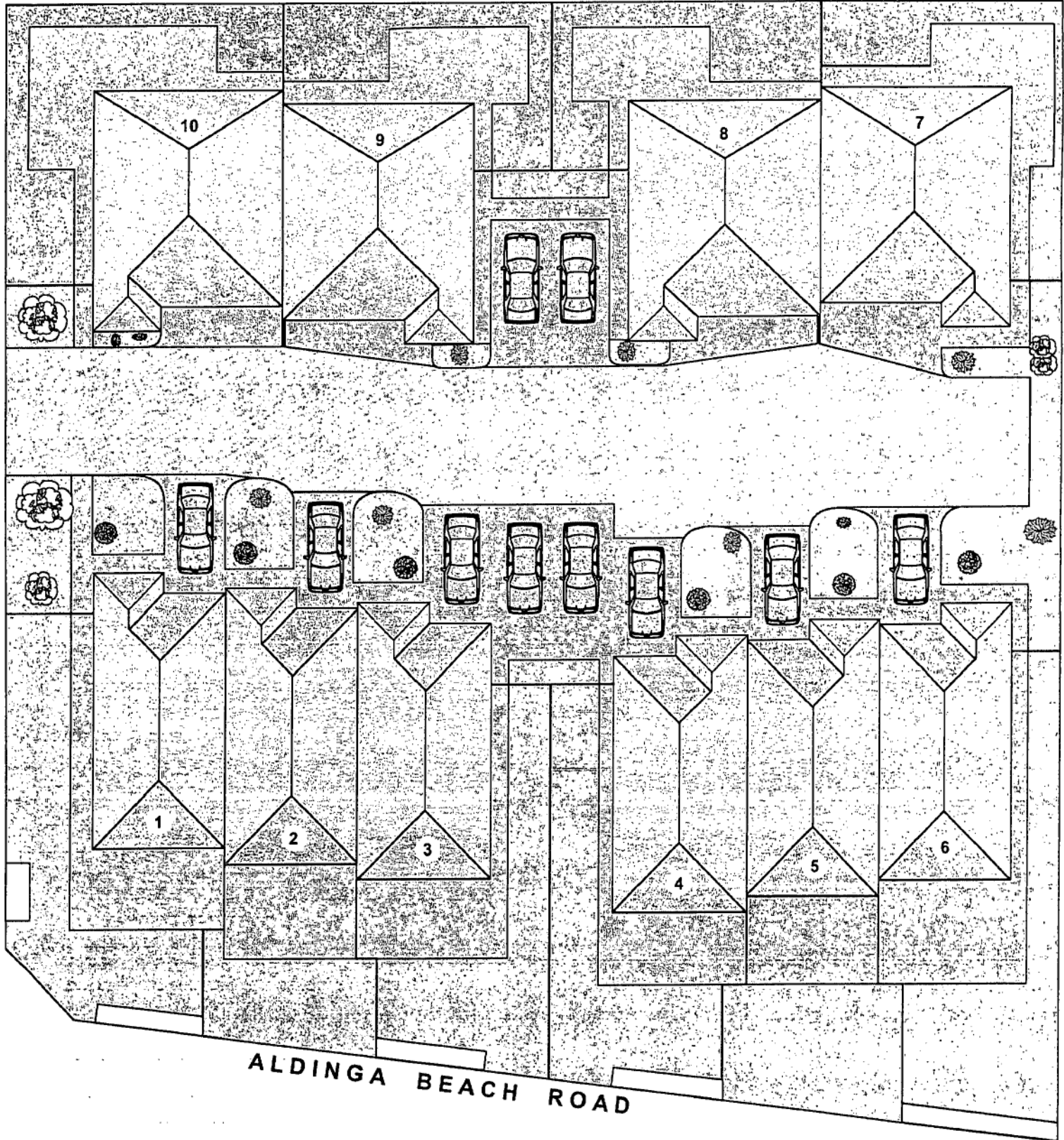
D3244



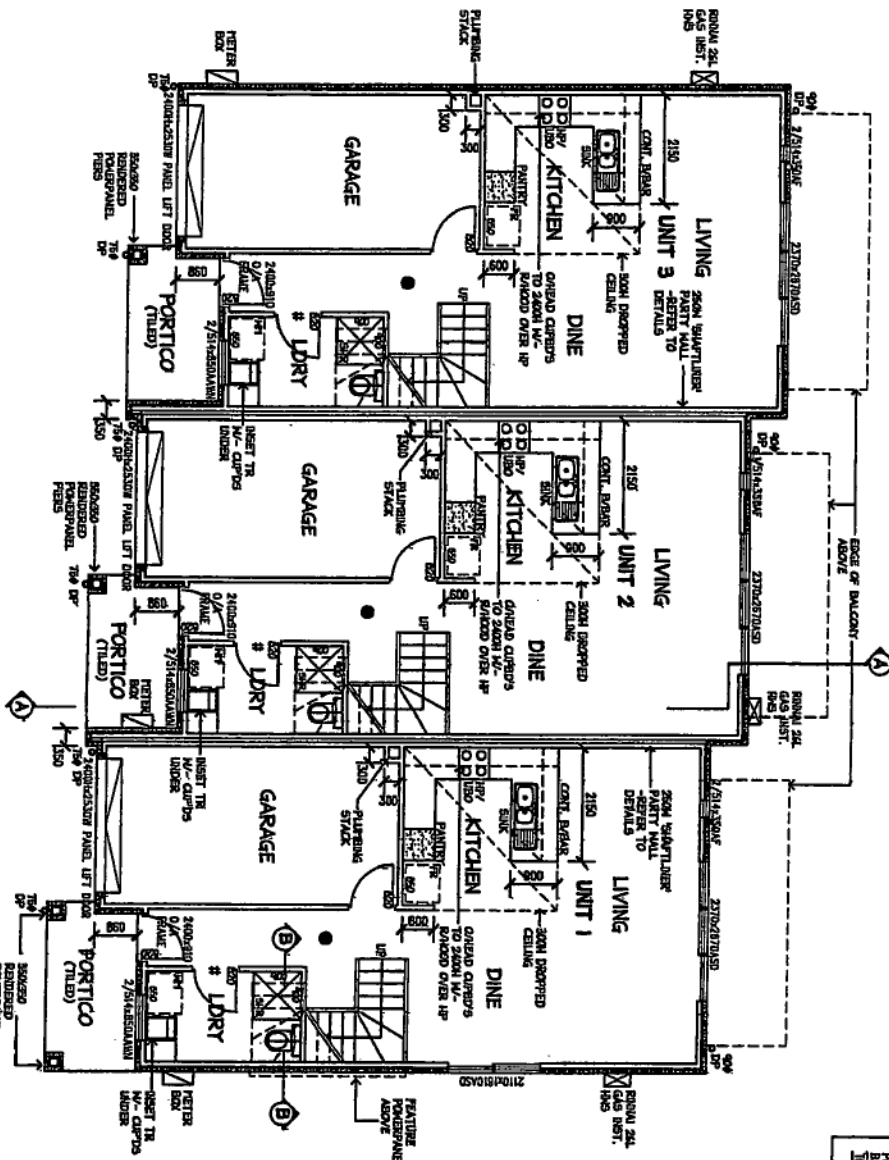
B – LANDSCAPING PLAN

C – PICTORIAL REPRESENTATION

WHINNERAH AVENUE



ALDINGA BEACH ROAD



1930	1935	1940	1945	1950	1955	1960	1965	1970	1975	1980	1985	1990	1995	2000	2005	2010	2015	2020	2025	2030	2035	2040	2045	2050	2055	2060	2065	2070	2075	2080	2085	2090	2095	2100	2105	2110	2115	2120	2125	2130	2135	2140	2145	2150	2155	2160	2165	2170	2175	2180	2185	2190	2195	2200	2205	2210	2215	2220	2225	2230	2235	2240	2245	2250	2255	2260	2265	2270	2275	2280	2285	2290	2295	2300	2305	2310	2315	2320	2325	2330	2335	2340	2345	2350	2355	2360	2365	2370	2375	2380	2385	2390	2395	2400	2405	2410	2415	2420	2425	2430	2435	2440	2445	2450	2455	2460	2465	2470	2475	2480	2485	2490	2495	2500	2505	2510	2515	2520	2525	2530	2535	2540	2545	2550	2555	2560	2565	2570	2575	2580	2585	2590	2595	2600	2605	2610	2615	2620	2625	2630	2635	2640	2645	2650	2655	2660	2665	2670	2675	2680	2685	2690	2695	2700	2705	2710	2715	2720	2725	2730	2735	2740	2745	2750	2755	2760	2765	2770	2775	2780	2785	2790	2795	2800	2805	2810	2815	2820	2825	2830	2835	2840	2845	2850	2855	2860	2865	2870	2875	2880	2885	2890	2895	2900	2905	2910	2915	2920	2925	2930	2935	2940	2945	2950	2955	2960	2965	2970	2975	2980	2985	2990	2995	3000	3005	3010	3015	3020	3025	3030	3035	3040	3045	3050	3055	3060	3065	3070	3075	3080	3085	3090	3095	3100	3105	3110	3115	3120	3125	3130	3135	3140	3145	3150	3155	3160	3165	3170	3175	3180	3185	3190	3195	3200	3205	3210	3215	3220	3225	3230	3235	3240	3245	3250	3255	3260	3265	3270	3275	3280	3285	3290	3295	3300	3305	3310	3315	3320	3325	3330	3335	3340	3345	3350	3355	3360	3365	3370	3375	3380	3385	3390	3395	3400	3405	3410	3415	3420	3425	3430	3435	3440	3445	3450	3455	3460	3465	3470	3475	3480	3485	3490	3495	3500	3505	3510	3515	3520	3525	3530	3535	3540	3545	3550	3555	3560	3565	3570	3575	3580	3585	3590	3595	3600	3605	3610	3615	3620	3625	3630	3635	3640	3645	3650	3655	3660	3665	3670	3675	3680	3685	3690	3695	3700	3705	3710	3715	3720	3725	3730	3735	3740	3745	3750	3755	3760	3765	3770	3775	3780	3785	3790	3795	3800	3805	3810	3815	3820	3825	3830	3835	3840	3845	3850	3855	3860	3865	3870	3875	3880	3885	3890	3895	3900	3905	3910	3915	3920	3925	3930	3935	3940	3945	3950	3955	3960	3965	3970	3975	3980	3985	3990	3995	4000
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UNIT 1		UNIT 2	
UPPER LIVING	53,881	UPPER LIVING	53,174
UPPER LIVING	78,331	UPPER LIVING	77,459
GARAGE	16,569	GARAGE	17,759
PERIODIC	5,615	PERIODIC	8,409
BALANCE	7,852	BALANCE	7,652
TOTAL	194,239	TOTAL	192,341

Figure 1: Schematic diagram of the test specimen showing dimensions in mm. The specimen is a rectangular plate with a central hole. Dimensions are given for the overall size, hole size, and distances between features. The top row shows dimensions: 1800, 3000, 1970, 1810, 3170. The bottom row shows dimensions: 220, 1180, 3000, 1970, 1190, 2700, 3010, 1180, 720. The middle row shows dimensions: 1190, 5710, 1190, 2700, 3010, 1180, 720. The bottom row shows dimensions: 1190, 1800, 1190, 17030, 1190.

BUILDING WITHIN CORROSION ZONE
CONSTRUCTION TO PROVIDE PROTECTION
IN ACCORDANCE WITH BCA AND
RELEVANT CODES

NOTES:
ALL GLAZING SHALL CONFORM WITH AS 1288
DP - PAINTED PVC
- SIZE AS NOTED
MC DOOR TO BE REMOVABLE IN ACCORDANCE WITH SA HOUSING CODE APPENDIX 910J

© 2001

Boostrey Smith
design



A. BOX TO PORCHMAN. 20/00
B. LIVING ROOM WINDOWS CHAUNCEY
TO 300 W. 23RD.
C. 1x WINDOW DETECTED FROM
LIVING IN RESIDENCE 2.
D. LIVING & LAUNDRY WINDOW
TO MOVE TO INCONVENIENT SIDE
BRANCHING.

AREAS m²

AS SHOWN

AMENDMENT DATES

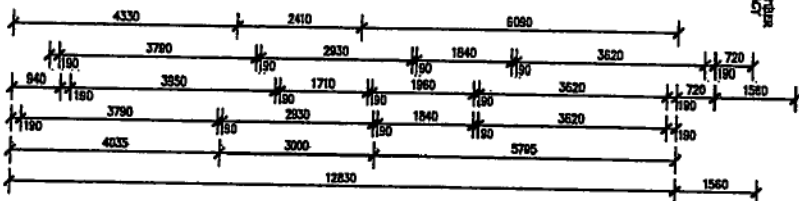
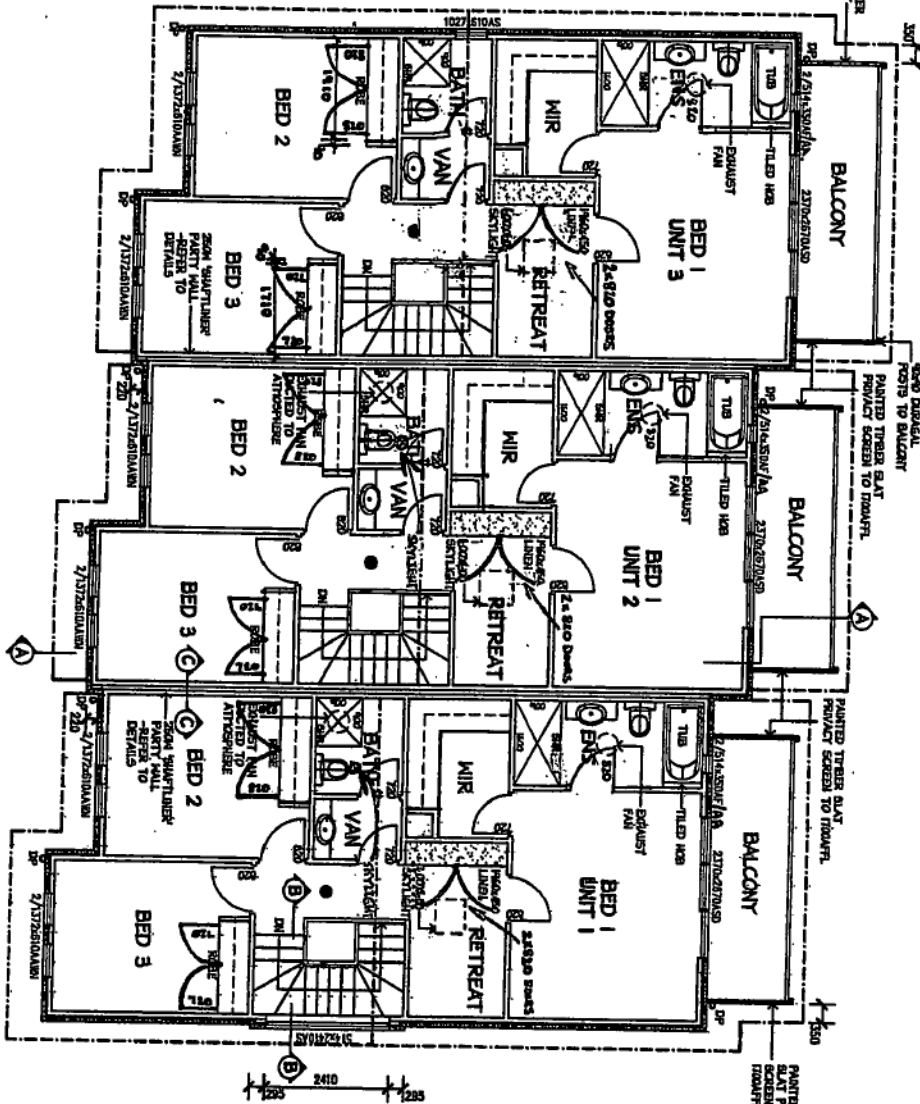
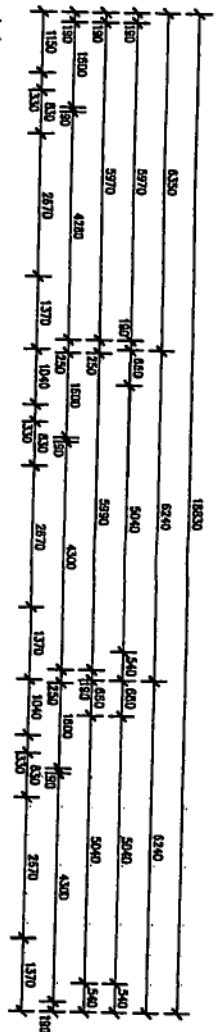
—STANDARD RANGE SIZES ONLY NOTED ON P/LAL
HORIZONTAL STANDARD RANGE SIZES MAY CHANGE
—THIS DRAWING IS TO BE USED STRICTLY IN
CONJUNCTION WITH BULKHEAD & SILENCER SCHEDULES

AS	ALUL	HORIZONTAL SLIDING
AAWH	ALUL	AVANCE
TAVN	TUBER	ARRANG
ASH	ALUL	SINGLE HUNG
TSN	TUBER	SINGLE HUNG
ADH	ALUL	DOUBLE HUNG
TDH	TUBER	DOUBLE HUNG
AF	ALUL	FIXED SASH
TF	TUBER	FIXED SASH

MASTER UPDATE:	
TYPE:	
DATE: 26.2.08	SCALE: 1:100
DRAWN: CB	JOB TYPE: WD
SPECIAL NOTES	
WINDOW LEGEND	

UNITS 1, 2 & 3
AT
NO. 2 - 6
ALDINGA BEACH RD
ALDINGA BEACH

SHEET 1 OF 6
LOWER PLAN
Job No. 04-2ALDINGA
PROPOSED RESIDENCE F



SHEET 2 OF 3	
UPPER PLAN	
Job No. QA-2ALDINGA	
PROPOSED RESIDENCE FOR	
QATIRO	
UNITS 1, 2 & 3	
AT	
NO. 2 - 6	
ALDINGA BEACH RD	
ALDINGA BEACH	
MASTER UPDATE	
TYPE:	
DATE: 28.2.08	SCALE: 1:100'
DRAWN: CB	JOB TYPE: WD
SPECIAL NOTES	
WINDOW ELEVATION	
AS	ALUM. HORIZONTAL SLAND
ALUM	ALUM. HORIZONTAL SLAND
TAMM	TAMM
ASH	TIMBER HINGED
TSN	ALUM. SLATE HING
ADH	TIMBER SLAKE HING
ADH	ALUM. DOUBLE HING
ADH	TIMBER DOUBLE HING
ADH	ALUM. FIXED SLASH
ADH	TIMBER FIXED SLASH

DESIGNS CORP. USED SURE ALARM WITH BATTERY BACK-UP INSTALLED IN ACCORDANCE WITH AS 2748-1993.

Ag

4. BACK TO POWERPAGE. 2/10/03
5. DOES TO PAGES & LINE#.
6. DOES TO ENSURE.
7. 250 RADIAL SYLWIGHT TO 64TH
8. NC JORD TO WFE.
9. ENSURE WINDOW# CHANGED
10. 360mm WIDE.
11. 5. IN AWWING6 WINDOW ADDED TO
12. ENSURE.



80ostreysmith

TRAFFIC VIOLATIONS SHALL NOT PREVENT ONE
FROM DRIVING.

THESE ORDINANCES ARE SUBJECT TO COUNTERSIGN, LEGAL ACTION WILL BE TAKEN AGAINST ANY INDIVIDUAL IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN OR OBTAINED

DATE: _____

51ALPS
17 RISERS AT 182.36mm
GOING 240mm
CHECK ON SITE PRIOR
TO CONSTRUCTION

CONSTRUCTION ISSUE

SECTIONS

PROPOSED BUILDING WORKS FOR
PRIME BUILDING COMPANY
UNITS 1, 2 & 3

AMENDMENT DATES

DEMOLITS DIRECT WIRE SMOKE ALARM WITH BATTERY BACK-UP INSTALLED ON ACCORDANCE WITH AS 3785-1993

AREAS m²

SPECIAL NOTES

AS **ALUM HORIZONTAL STUDENT**

FOR TAIL	THUNDER BANGING
TAKE	THUNDER
ASHI	ALLIUM SINGLE HUNG
TSH	THUNDER SINGLE HUNG
ASH	ALLIUM DOUBLE HUNG
TDH	THUNDER DOUBLE HUNG
AF	ALLIUM FIXED SASH
TF	THUNDER FIXED SASH

CONNECTION WITH BUSINESS & SELECTION SCHEDULES

INVESTOR DEMANDS WILL TAKE PRECEDENCE OVER SCALED DEMONSTRATIONS.

THESE DRAWINGS ARE SUBJECT TO COPYRIGHT, LEGAL ACTION WILL BE TAKEN AGAINST ANY REPRODUCER IN WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS OBTAINED BY PRIME BUILDING COMPANY.

SECTION B-B

WIDE CONCRETE SLAB IS USED AS TERPITE BARRIERS. SLAB EDGE MUST BE EXPOSED 75mm MIN. ABOVE FINISHED EXTERNAL FINISH LEVEL. FOR TERPITE INSULATION, ADDITIONAL BARRIERS MUST BE PROVIDED TO SERVICE PIPES AND OTHER PENETRATIONS IN ACCORDANCE WITH AS 3660.1



PRIME
BUILDING COMPANY

Boostrey Smith
DESIGNER

CONTRACT PLAN
OWNER: _____

DATE: _____

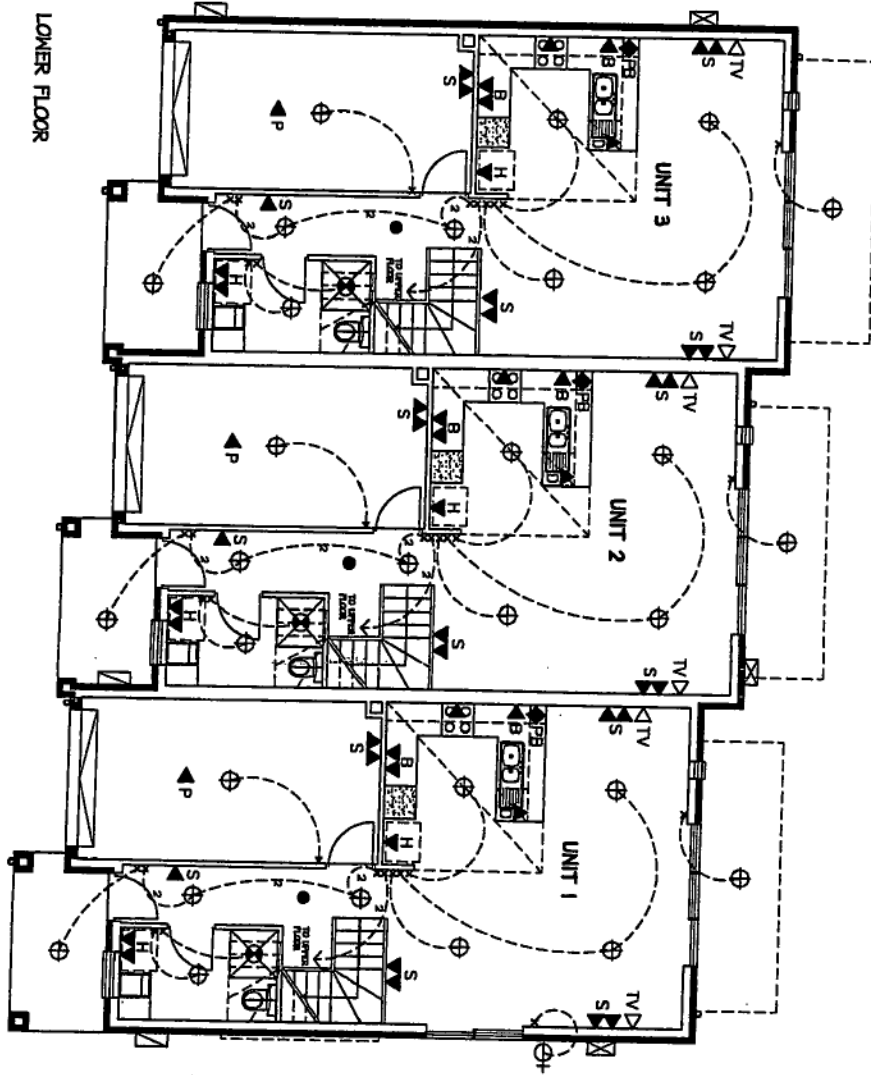
OWNER: _____

DATE: _____

BUILDER: _____

DATE: _____

LOWER FLOOR



SHEET 1 OF 2

ELECTRICAL PLAN

Job No. PR-2ALDINGA

PROPOSED RESIDENCE FOR
PRIME BUILDING COMPANY
UNITS 1, 2 & 3

AT

No. 2 - 6

ALDINGA BEACH RD
ALDINGA BEACH

DATE: 19.08.08 DRAWN: CB

ELECTRICAL LEGEND
- LIGHT POINTS SHALL BE CARRIED IN ROOMS UNLESS
DIMENSIONS ARE SHOWN
- THE POSITION OF SOME ITEMS MAY VARY ON SITE TO
COMPLY WITH REGULATIONS
- REFER TO COUNTRY APPLIANCE LOCATIONS AND
ELECTRICAL CONNECTION REQUIREMENTS BEFORE
CONSTRUCTION.

⊕ LIGHT POINT

⊕ LIGHT SWITCH

⊕ LIGHT WITH 2-BAY SWITCH

⊕ DOWNLIGHT

⊕ WALL MOUNTED LIGHT (1800mm x 1200mm)

⊕ EXTERNAL (1800mm x 1200mm CEILING MOUNTED)

⊕ EXTERNAL (2100mm x 2700mm CEILING MOUNTED)

⊕ SINGLE POWER POINT

⊕ DOUBLE POWER POINT

⊕ HEIGHT OF POWER POINTS

⊕ S 250mm ABOVE FLOOR LEVEL

⊕ B ABOVE BENCH HEIGHT

⊕ H 1200mm ABOVE FLOOR LEVEL

⊕ R ROLLED DOOR 2100mm ABOVE FLOOR LEVEL

⊕ P PANEL LEFT DOOR ON CEILING

⊕ A ALARM 1800mm ABOVE FLOOR LEVEL

⊕ D DISHWASHER

⊕ EXHAUST FAN

⊕ HAND WIRED SMOKE ALARM
(POSITION TO BE DETERMINED BY BUILDER)

⊕ TV TV POINT

⊕ P /S/B/H PHONE POINT/HEIGHT

PRIME BUILDING COMPANY
11 SHAW ST. MOUNTAIN VIEW, SA 5094
Phone: 08 8358 4777
Fax: 08 8358 4666

DESIGNED BY
Boostrey Smith
ELECTRICAL

© COPYRIGHT
THESE DRAWINGS ARE SUBJECT TO COPYRIGHT LEGAL
ACTION WILL BE TAKEN AGAINST ANY REPRODUCER IN
WHOLE OR PART, UNLESS WRITTEN AUTHORITY IS GIVEN
BY PRIME BUILDING COMPANY.

CONTRACT PLAN

OWNER: _____

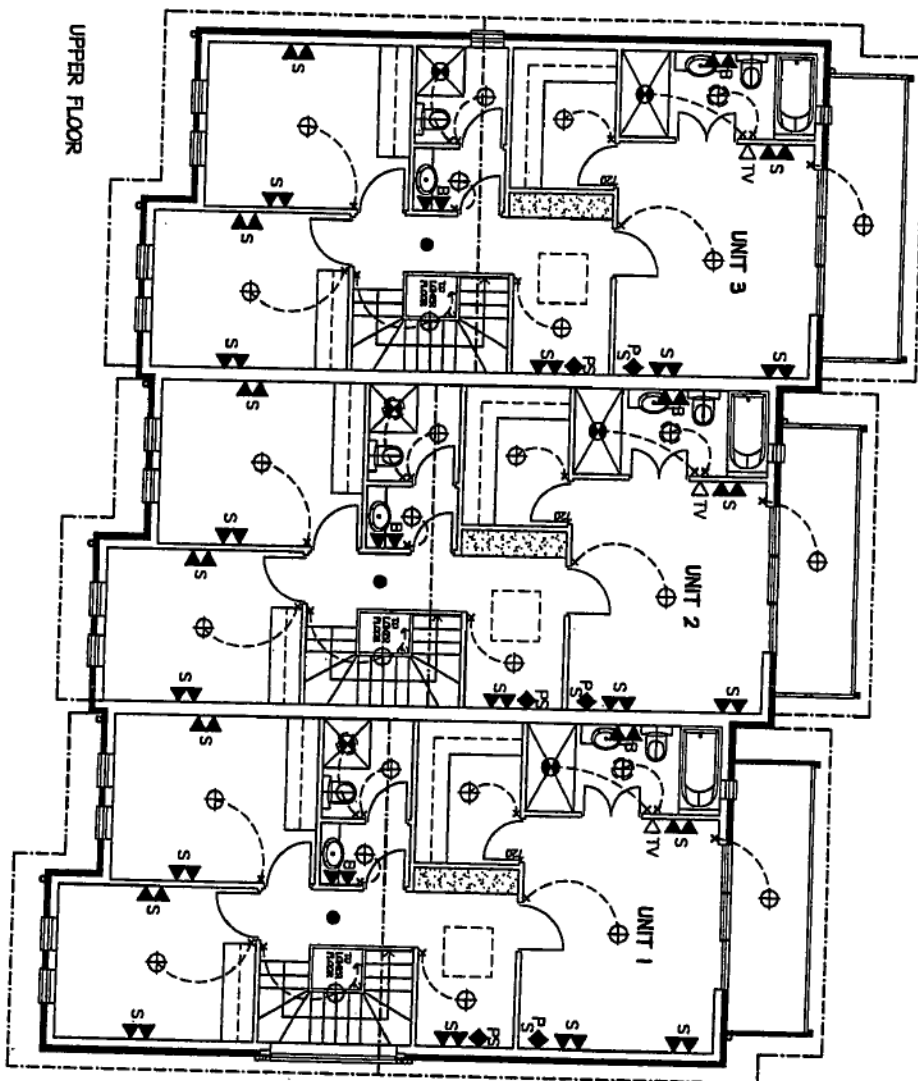
DATE: _____

OWNER: _____

DATE: _____

BUILDER: _____

DATE: _____



SHEET 2 OF 2

ELECTRICAL PLAN

Job No. PR-2ALDINGA

PROPOSED RESIDENCE F
PRIME BUILDING COMPAN
UNITS 1, 2 & 3

AT

No. 2 - 6

ALDINGA BEACH RD
ALDINGA BEACH

DATE: 19.8.08 DRAWN: CS

ELECTRICAL LEGEND

ALL LIGHT POINTS WILL BE CHANGED IN ROOMS UNLESS
NOTED OTHERWISE.
- THE POSITION OF SOME ITEMS MAY VARY ON SITE.
- BASED ON CURRENT APPLIANCE LOCATIONS AND
ELECTRICAL CONNECTION REQUIREMENTS BEFORE
CONSTRUCTION.

⊕ LIGHT POINT

⊕ LIGHT SWITCH

⊕ LIGHT WITH 2-WAY SWITCH

⊕ DOWNLIGHT

⊕ WALL MOUNTED LIGHT (1800 AJ)

⊕ EXTERNAL (1800AJL - 2400 CEILING HT)

⊕ EXTERNAL (2100AJL - 2700 CEILING HT)

⊕ SINGLE POWER POINT

⊕ DOUBLE POWER POINT

⊕ HEIGHT OF POWER POINTS

⊕ S 250mm ABOVE FLOOR LEVEL

⊕ B ABOVE BENCH HEIGHT

⊕ H 1200mm ABOVE FLOOR LEVEL

⊕ R ROLLERDOOR 2100mm ABOVE FLOOR LEVEL

⊕ P PANEL LEFT DOOR ON CEILING

⊕ A ALARM 1800mm ABOVE FLOOR LEVEL

⊕ D DISBURSER

⊕ EXHAUST FAN

⊕ HARD WIRED SMOKE ALARM

⊕ TV POSITION TO BE DETERMINED BY BUILDER

⊕ P /S/R/H PHONE POINT/HEART

PRIME BUILDING COMPANY

11 SHUTE LN, WESTON, SA 5039

Phone: 08 8333 1477

Fax: 08 8333 0488

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DESIGNED BY
gooseysmith
DESIGNER

CONTRACT PLAN
OWNER: _____

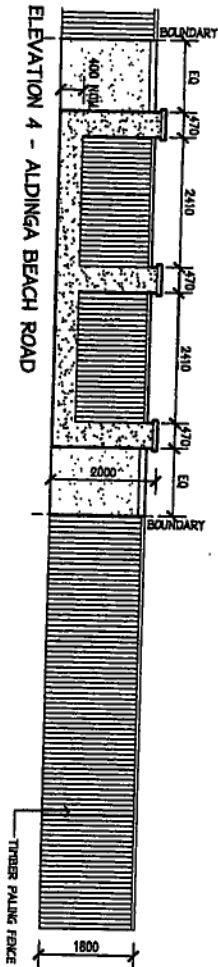
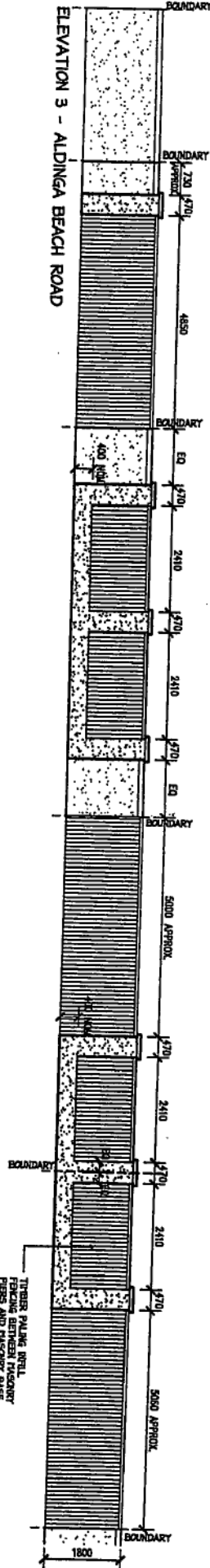
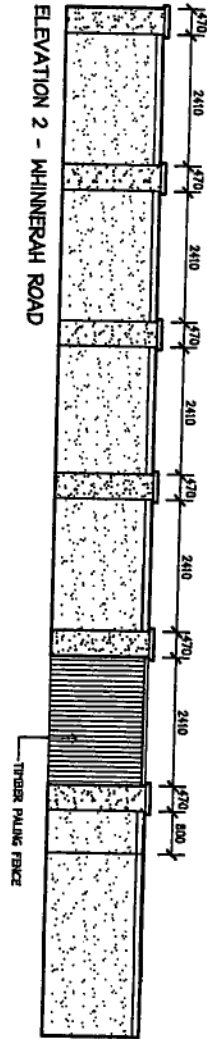
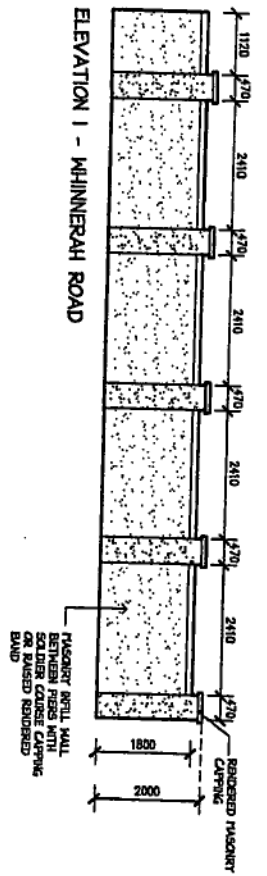
DATE: _____

OWNER: _____

DATE: _____

BUILDER: _____

DATE: _____



CONSTRUCTION ISSUE

SHEET 1 OF 1
FENCE DETAILS

PROPOSED BUILDING WORKS FOR:
PRIME BUILDING COMPANY

AMENDMENT DATES

AT
NO. 2 - 6

ALDINGA BEACH ROAD
ALDINGA BEACH

① DENOTES DIRECT WELD SINCE ALUMINUM WIRE BATTERY BACK-UP INSTALLED IN ACCORDANCE WITH AS 3100-1993

AREAS m²

SPECIAL NOTES

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GOVERNMENT DIMENSIONS SHALL TAKE PRECEDENCE OVER SOLID DIMENSIONS

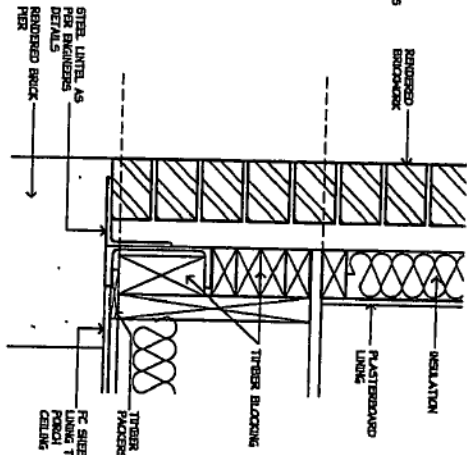
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PRIME BUILDING COMPANY
11, STURT ST, ADELAIDE, SA 5006
Tel: 08 7000 0000

goose & smith
DESIGN

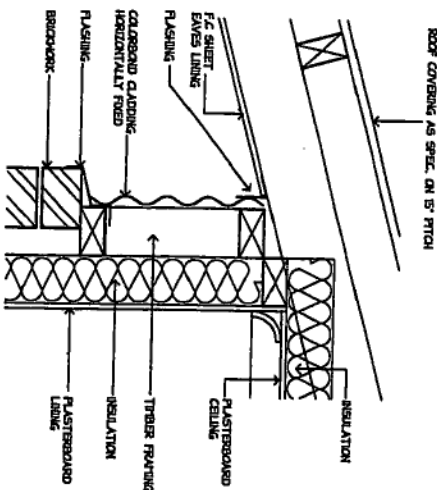
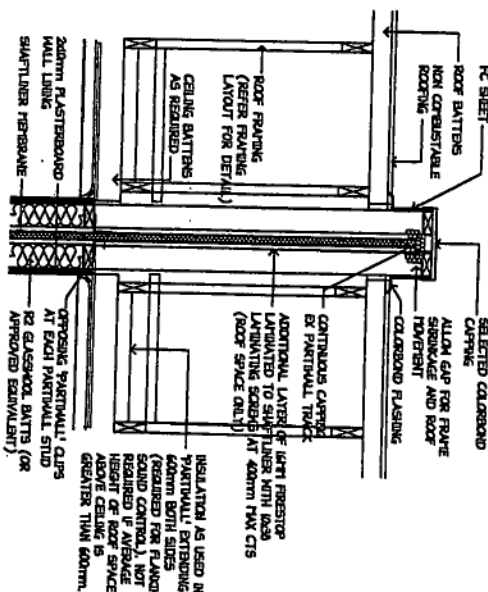
DATE:

OWNER:



SECTION DETAIL

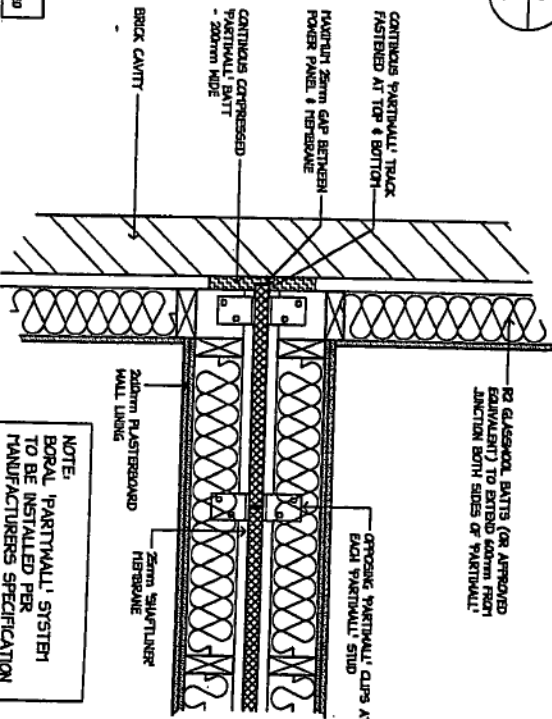
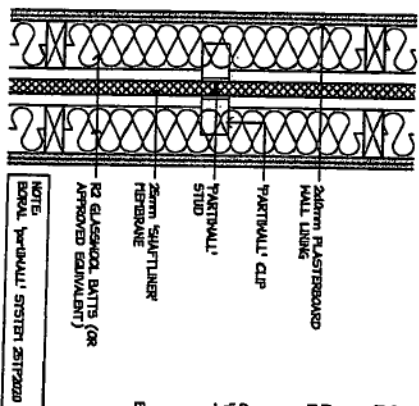
SECTION C-C
PARTY WALL DETAIL - FRL/60/60/60
SCALE 1:20



SECTION DETAIL

PARTY WALL DETAIL - FRL/60/60/60
SCALE 1:10

PARTY WALL JUNCTION DETAIL - FRL/60/60/60
SCALE 1/10



FAK
SCALE 14

AMENDMENT DATES

● DENOTES CORRECT REED SHOE ALARM WITH BATTERY BACK-UP INSTALLED BY ACCORDANCE WITH AS 3785-1993

SPECIAL NOTES

WINDOW LEGEND

AS	ALLI	HORIZONTAL	SUBORD
ALIN	ALLI	AWING	

- THIS DRAWING IS TO BE READ STRICTLY IN CONNECTION WITH BIDDING & SELECTION SCHEDULE

CONSTRUCTION ISSUE

**BORAL 'PARTY WALL' SYSTEM
TO BE INSTALLED PER
MANUFACTURER'S SPECIFICATIONS**



PRIME
BUILDING COMPANY

80ostrey/smith
DESIGN

CONTRACT PLAN
OWNER: _____

DATE: _____

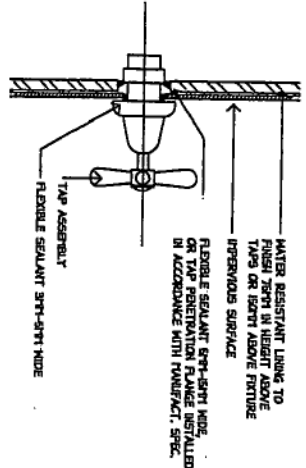
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DATE: _____

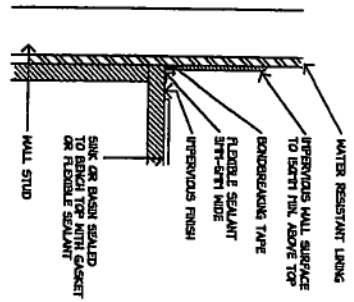
BUILDER: _____

DATE: _____

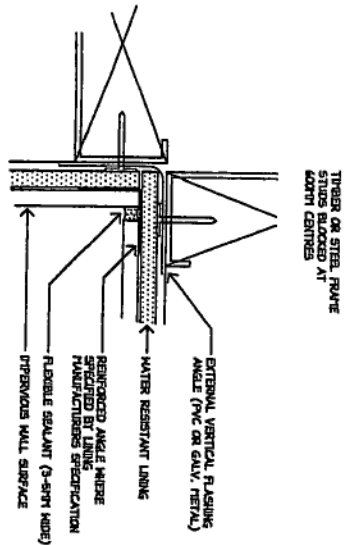
TAP PENETRATIONS IN IMPERVIOUS WALLS



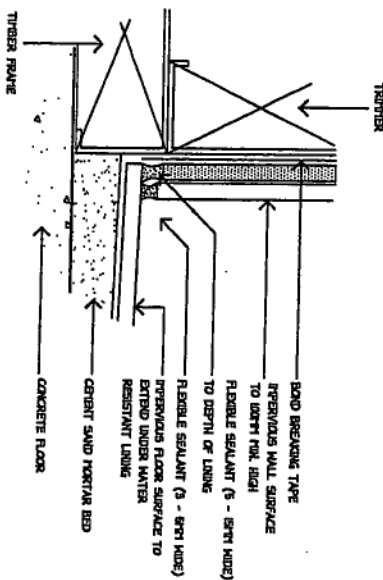
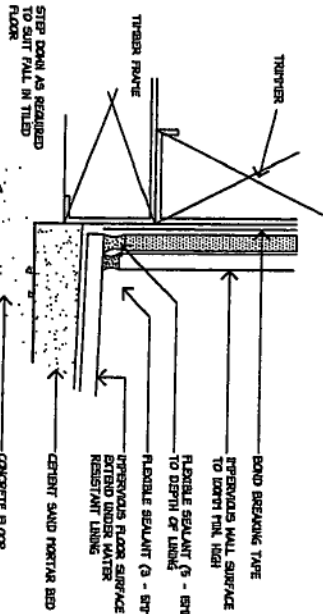
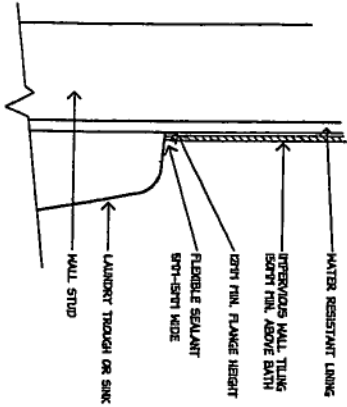
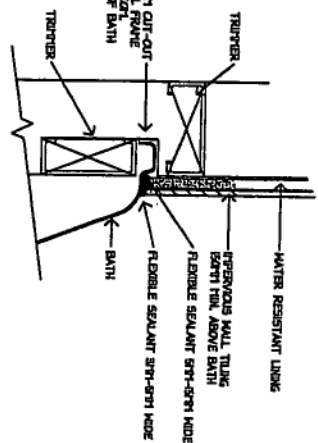
BENCH TOP DETAIL



IMPERVIOUS WALL CORNER JUNCTION



BATH INSTALLATION DETAIL



IMPERVIOUS JUNCTION OF FIXTURE AND IMPERVIOUS WALL

INTERNAL TRAY SHOWER & IMPERVIOUS WALL JUNCTION (CATEGORY 1)

JUNCTION OF IMPERVIOUS WALL & FLOOR (CATEGORY 2)

CONSTRUCTION ISSUE

SHEET 6 OF 6
WET AREA DETAILS

PROPOSED BUILDING WORKS FOR:
PRIME BUILDING COMPANY
UNITS 1, 2 & 3
AT
NO. 2 - 6
ALDINGA BEACH ROAD
ALDINGA BEACH

AMENDMENT DATES

• EXISTING CORNER WOOD SHED ALONG WITH BATHING BACK-UP INSTALLED IN ACCORDANCE WITH AS 3700-1983

SPECIAL NOTES

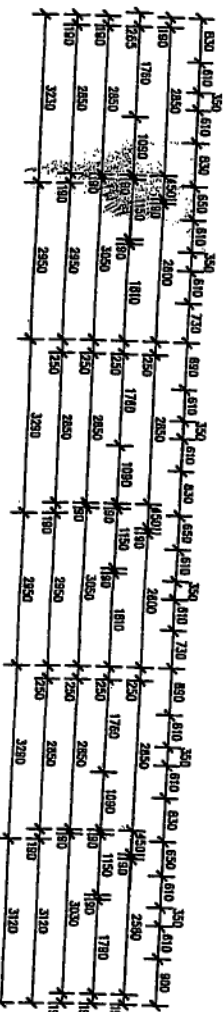
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PRIME BUILDING COMPANY
11 STREET RD, GOSFORTH, SA 5006
Phone 08 8358 4777
Fax 08 8358 4888

gooseysmith
DESIGN

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OWNER:

BUILDER:

DATE:

SOUTH ELEVATION

EAST ELEVATION

WEST ELEVATION

**PROPOSED BUILDING WORKS FOR
GATTRO**

AMENDMENT DATES

Job No. QA-2ATTJNCA

UNITS 4, 5 & 6

ALDINGA BEACH ROAD
ALDINGA BEACH

DATE: 26.2.06 SCALE: 1:100

JOB TYPE: MD

- A. BACK TO PROGRAM 21000 CB
- B. STRUCKS DOWN CHANGED TO LISTING.
- C. HOUSE 5 LISTING WINDOW DELETED X1
- D. APPOINT WIDENOW TO ENLARGE (FOR WINDOW)
- E. ENTER WINDOW CHANGED TO FILED
- F. EVALUATE & LISTING WINDOWS CHANGED TO 350mm WIDE.

AREAS

SPECIAL NOTES

ALL HORIZONTAL STUDENT
ALPH. AVOIDING

ALUM. SMALL HUNTS
THIRD QUARTER 1996

TIMBER DOUBLE HUNG

- THIS DRAWING IS TO BE READ STRICTLY IN CONJUNCTION WITH THE INSTRUCTIONS

SCALED PULVERISONS

ପ୍ରୋଫେସର
ମି. ଶ୍ରୀମତୀ

CERTIFICATION ISSUE

NOTE:
- PROVIDE HORIZONTAL CONTROL JOINT TO POWER PANEL, 2-STORY WALLS AT LOWER CEILING LINE
- PER PARTS SPECIFICATION
- VERTICAL CONTROL JOINTS PER BRCS DWGS

ALSO PROVIDED BY
goostrey-smith

CONTRACT PLAN
OWNER:

OWNER:

BUILDER:

DATE:

[illegible]

GOINGS 240pm

GOLING5 240mm

TO CONSTRUCTION

CERTIFICATION ISSUE

PROPOSED BUILDING WORKS FOR:
QATTRQ

AMENDMENT DATES

UNITS 4, 5 & 6

g & b
c 4,
c 1113 7,
AT

Job No. QA-2ALDINGA

DATE: 26.2.08
SCALE: 1:50

DRAWN: CB
DOB: 1/2/1988

NO. 2 - 6
ALDINGA BEACH ROAD
ALDINGA BEACH

AMENDMENT DATES

21/6/06 CE

AREAS m²

SPECIAL NOTES

ALUM. HORIZONTAL SLOPE
ALUM. AVERAGE

ALLIE ANDREWS
TURNER AIRBORNE

LAMIN
 TUBER AERODIG
 ALUMINUM

ALPHA SINGLE HUNG TSH

TIMBER SINGLE HUNG

ALUM. DOUBLE FILM.

THUNDER DOUBLE HUNG

AMERICAN DOUBLE HUNG
ALUM. FIXED SASH

PAVED, FULLED SASH
TIMBER, FIXED SASH

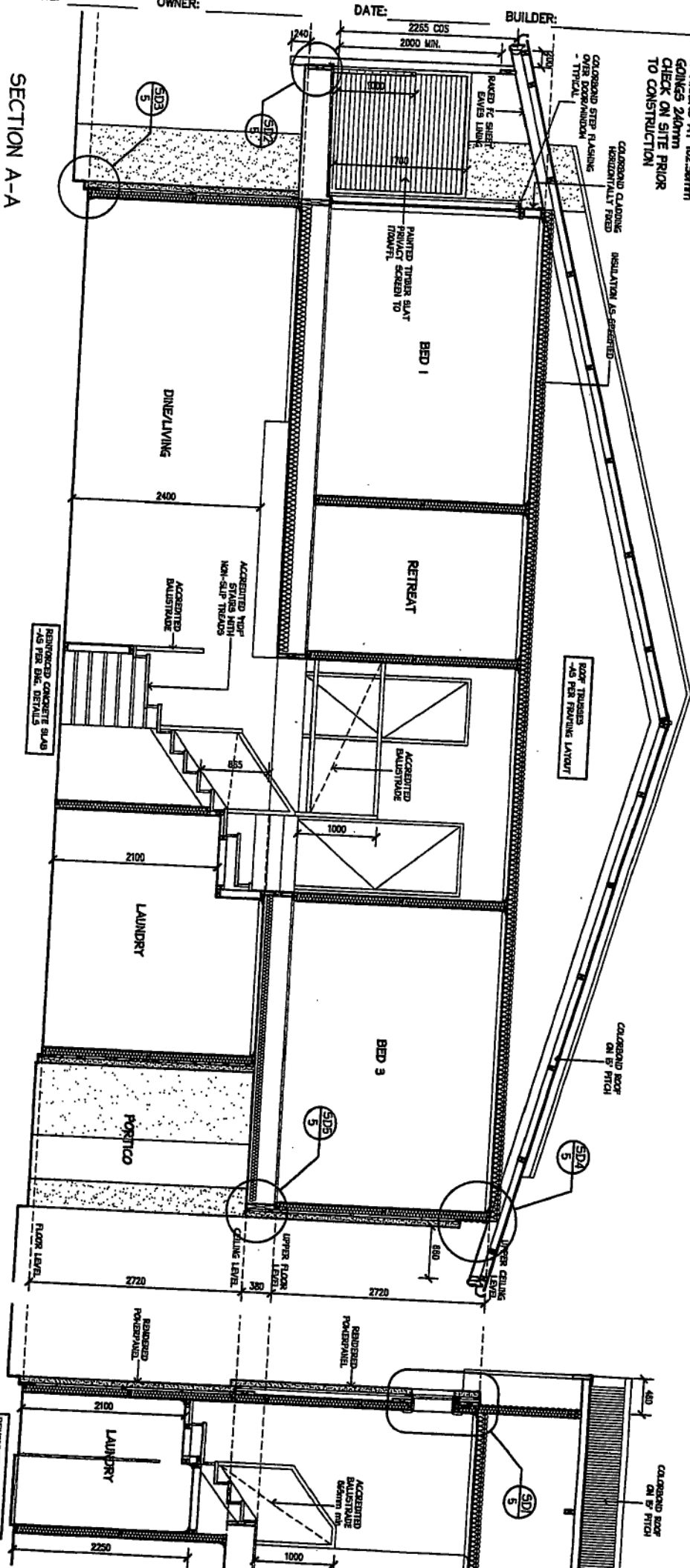
NUMBER FIXED SASH

100

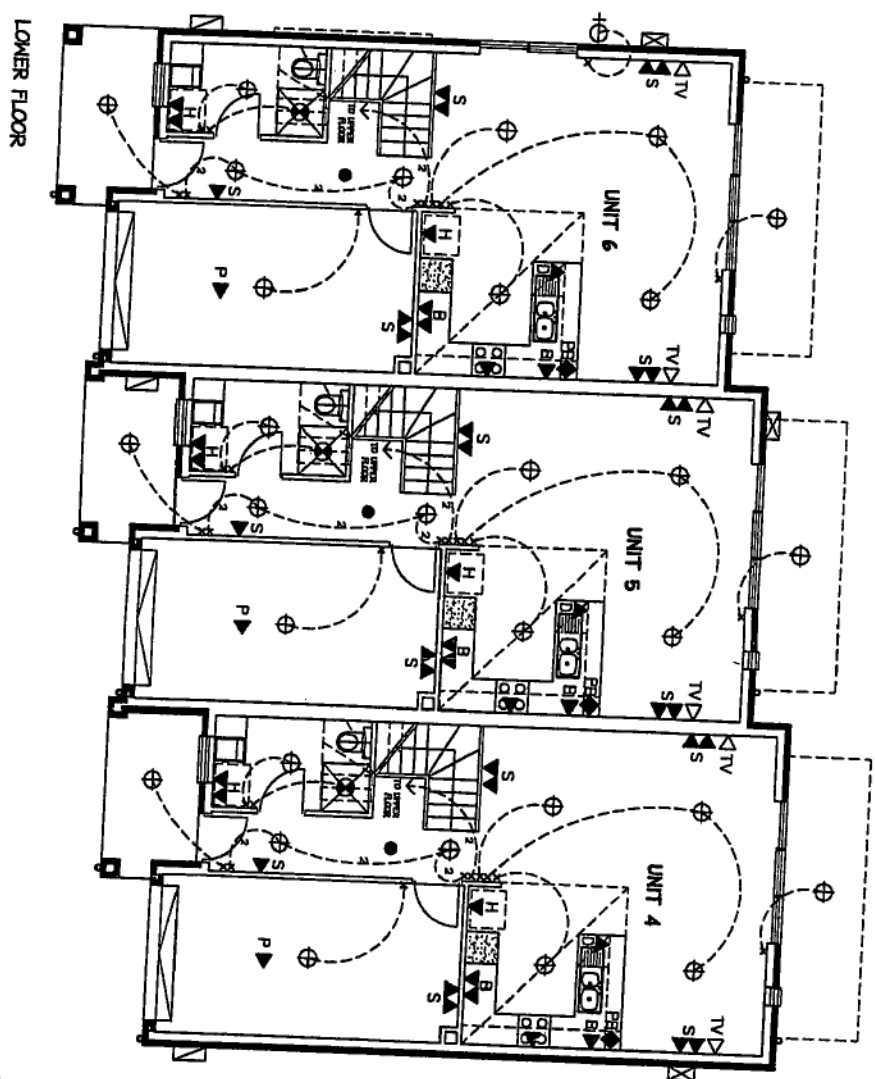

Quattro
 MADE POSSIBLE BY
Goodreysmith
 Design

SECTION B-B

NOTE: WHITE CONCRETE SLAB IS USED AS TERRITORY BARBERS. SLAB EDGE MUST BE EXPOSED 75mm FOR ABOVE FINISHED EXTERNAL PAVING LEVEL. FOR TERRITORY DEFECTION. ADDITIONAL BARBERS MUST BE PROVIDED TO SERVICE PIPES AND OTHER PENETRATIONS IN ACCORDANCE WITH AS 3601



ATION ISSU



LOWER FLOOR

SHEET 1 OF 2

ELECTRICAL PLA

Job No. PR-2ALDING

PROPOSED RESIDENCE

PRIME BUILDING COMP,

UNITS 4, 5 & 6

AT

No. 2 - 6

ALDINGA BEACH RC

ALDINGA BEACH

DATE: 19.6.08

DRAWN: CB

ELECTRICAL LEGEND

— LIGHT POINTS WILL BE CONTROLLED BY ROOMS UNIT

— THE POSITION OF SOME ITEMS MAY VARY DUE TO ON

— BUILDING TO CORRECT APPLIANCE LOCATIONS AND

— ELECTRICAL CONNECTION REQUIREMENTS BEFORE

CONSTRUCTION.

⊕ LIGHT POINT

⊕ LIGHT SWITCH

⊕ LIGHT WITH 2-WAY SWITCH

⊕ DOWNLIGHT

⊕ WALL MOUNTED LIGHT (1000 APT)

⊕ EXTERNAL (1800mm - 2400 CEILING)

⊕ EXTERNAL (2100mm - 2700 CEILING)

⊕ SINGLE POWER POINT

⊕ DOUBLE POWER POINT

⊕ HEIGHT OF POWER POINTS

⊕ S 250mm ABOVE FLOOR LEVEL

⊕ B ABOVE BENCH HEIGHT

⊕ H 1200mm ABOVE FLOOR LEVEL

⊕ R ROLLERDOOR 2100mm ABOVE FLOOR LE

⊕ P PANEL LIGHT DOWN ON CEILING

⊕ A ALARM 1800mm ABOVE FLOOR LEVEL

⊕ D DRYER/HEATER

⊕ EXHAUST FAN

⊕ HARD WIRED SMOKE ALARM

⊕ TV POINT

⊕ P /S/M PHONE POINT/HEIGHT

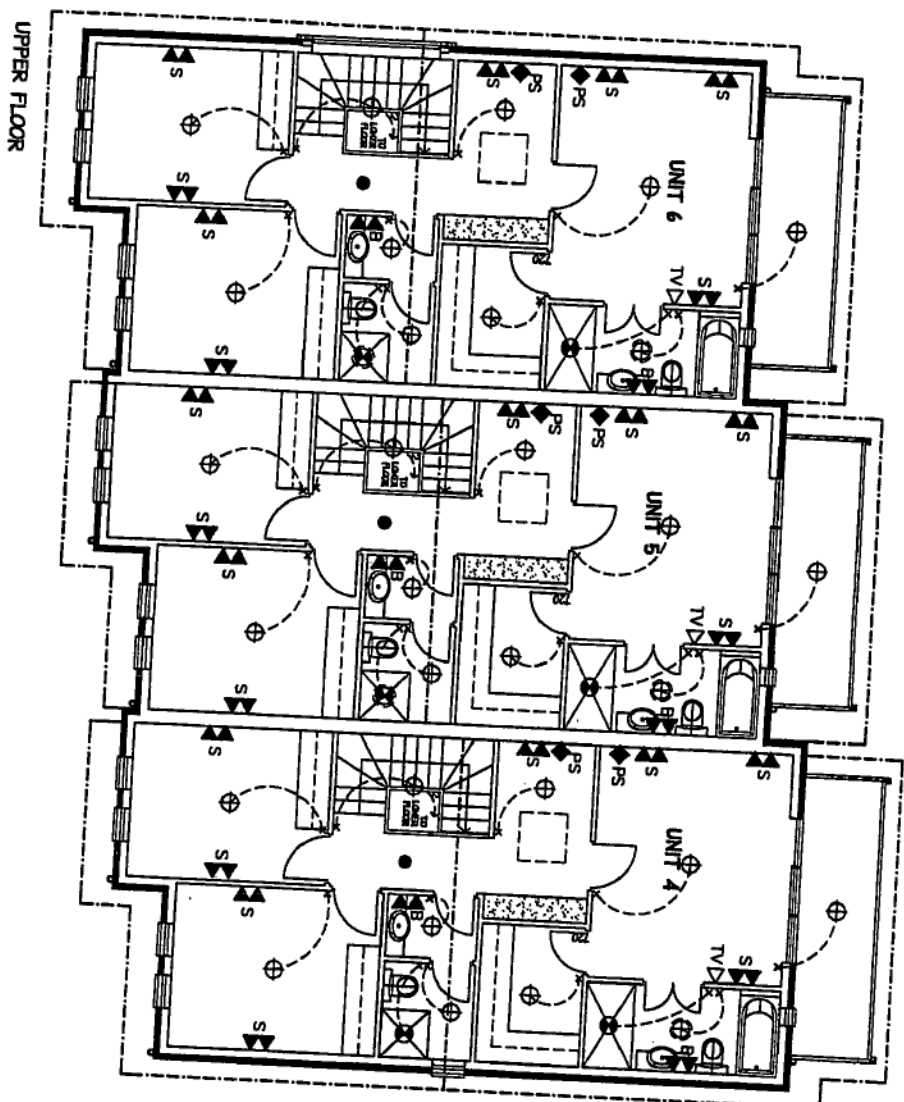
PRIME
BUILDING COMPANY
11 SHARP RD, BEACONSFIELD, SA 5040
Phone: 08 8358 0777
Fax: 08 8358 0688

DESIGNED BY
gooseysmith
DESIGN

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CONTRACT PLAN

OWNER: _____ DATE: _____ OWNER: _____ DATE: _____ BUILDER: _____ DATE: _____



UPPER FLOOR

SHEET 2 OF 2
ELECTRICAL PL
Job No. PR-2ALDIN
PROPOSED RESIDENCE
PRIME BUILDING COM
UNITS 4, 5 & 6
AT
No. 2 - 6
ALDINGA BEACH R
ALDINGA BEACH
DATE: 19.8.08 DRAWN: CB

ELECTRICAL LEGEND
- LIGHT POINTS SHALL BE CENTRED IN ROOMS UN
- THE POSITION OF SOME ITEMS MAY VARY ON
- ELECTRICAL CONNECTION REQUIREMENTS BEFORE
- DIMENSIONS TO CORNER APPLIANCE LOCATIONS A
- DIMENSIONS TO CORNER APPLIANCE LOCATIONS A

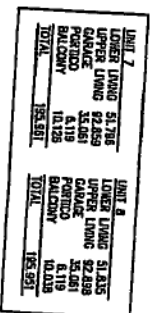
⊕ LIGHT POINT
⊕ LIGHT SWITCH
⊕ LIGHT WITH 2-WAY SWITCH
⊕ DOWNLIGHT
⊕ WALL MOUNTED LIGHT (1000 AM)
⊕ EXTERNAL (1000W) - 2400 CEILING
⊕ EXTERNAL (2100W) - 2700 CEILING

⊕ DOUBLE POWER POINT
⊕ SINGLE POWER POINT
⊕ HEIGHT OF POWER POINTS
⊕ S 250mm ABOVE FLOOR LEVEL
⊕ B ABOVE BENCH HEIGHT
⊕ H 1200mm ABOVE FLOOR LEVEL
⊕ R RAILROADOR 2100mm ABOVE FLOOR U
⊕ P PANEL LEFT DOOR ON CEILING
⊕ A ALARM 1800mm ABOVE FLOOR LEVEL
⊕ D DISBURSER
⊕ EXHAUST FAN
⊕ HARD WOOD SMOKE ALARM
(POSITION TO BE DETERMINED BY BULB
TV POINT
⊕ P /S/R/N PHONE POINT/RECORD

PRIME
BUILDING COMPANY
11 SHERIDAN RD, BENTLEY, SA 5008
Phone: 08 8338 5777
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Boostrey Smith
CREATING

CALIRO

AMENDMENT DATES

AREAS m²

• INDICATES DIRECT WIRED SWITCH ALARM WITH BATTERY BACK-UP INSTALLED IN ACCORDANCE WITH AS 3786-1983

NON-REAR SIZES ONLY NOTED ON PLAN.
- THIS DRAWING IS TO BE READ STRICTLY IN
CONJUNCTION WITH BUILDING & SELECTION SCHEDULE

ALLUM. FIXED SASH
THURBER FIXED SASH

	TSN	ADH	TTH
PALM	SINGLE	HIND	
TIMBER	SINGLE	HIND	
ALUM.	DOUBLE	HIND	

AS
AFTER
TAKEN
ALLIN HORIZONTAL SLEEPS
ALLIN AROUND
THREE AROUND

SPECIAL NOTES
WINDOW LENSING

DRAWN: CB	JOB TYPE: MD
-----------	--------------

TYPE:	
DATE: 06 0 00	

MEETING A BEACH

MASTER UPDATE:

ALDINGA BEACH

AT 5

DATA
UNITS 7 8 9

PROPOSED RESIDENT

LOWER PL

7 | שנה 1 | שנה 2

DATE:

UPPER PLAN

DATE:

PLAN FOLIO BY
80ostreysmith
DESIGN



2

ALDINGA BEACH ROAD
ALDINGA BEACH

SCHEMATIC SHOWN
DRAWN: CB
JOB TYPE: WD

AREAS m²

SPECIAL NOTES

AS AIVEN TAVAI	ALLUM ALLUM THUOS	HORIZONTAL SUNNING AIBENG IBENG
----------------------	-------------------------	--

ASH	TIMBER AROUND
TSI	ALLIN SINGLE HUNG
ADH	TIMBER SINGLE HUNG
TDH	ALLIN DOUBLE HUNG
AF	TIMBER DOUBLE HUNG
TF	ALLIN FIXED SASH
	TIMBER FIXED SASH

CONNECTION WITH TRAINING & SELECTION SCHEMES

MEASURED DIMENSIONS SHALL TAKE PREFERENCE OVER SCALED DIMENSIONS.

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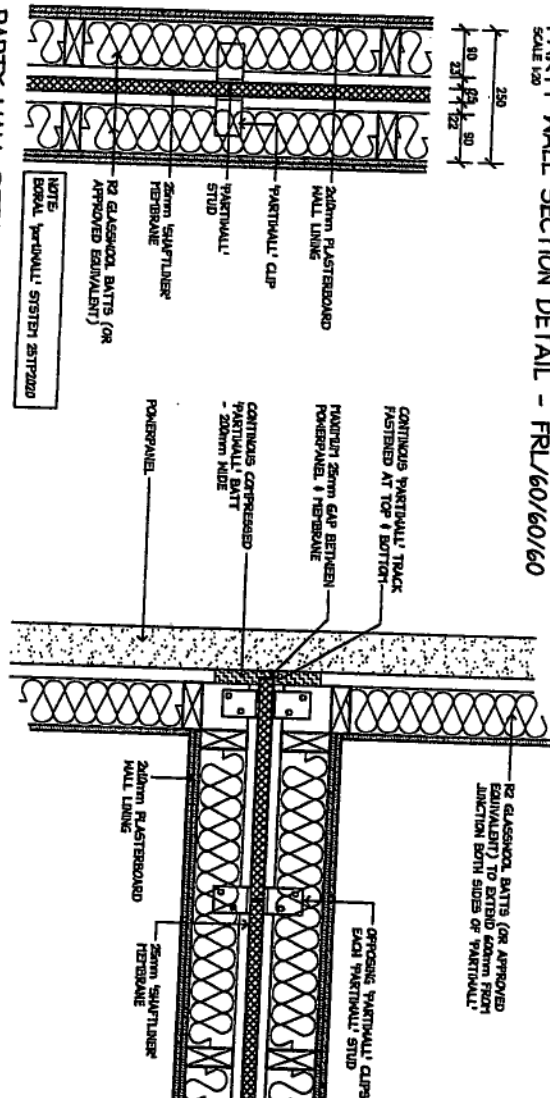
PLATE PROVIDED BY:
QATIRO
goostreyism

CERTIFICATION ISSUE



FART WALL DETAIL - FRL/60/60/60
SCALE 1:10

PARTY WALL JUNCTION DETAIL - FRL/60/60/60



NOTE:
BORAL 'PARTWALL' SYSTEM
TO BE INSTALLED PER
MANUFACTURERS SPECIFICATION

CONTRACT PLAN
OWNER: _____

DATE: _____

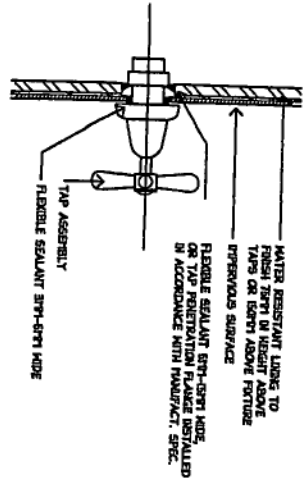
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DATE: _____

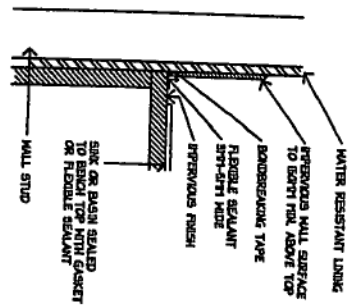
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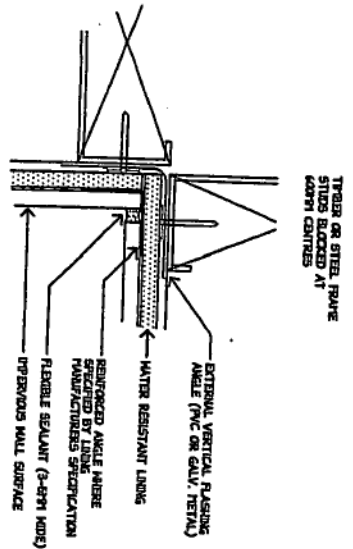
TAP PENETRATIONS IN IMPERVIOUS WALLS



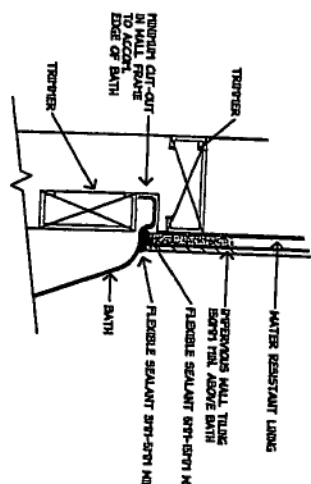
BENCH TOP DETAIL



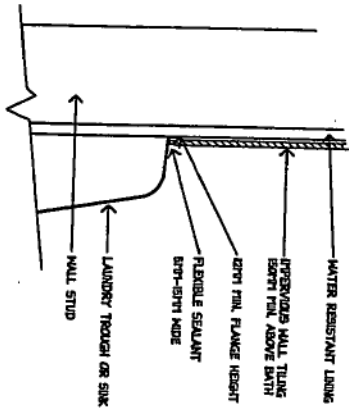
IMPERVIOUS WALL CORNER JUNCTION



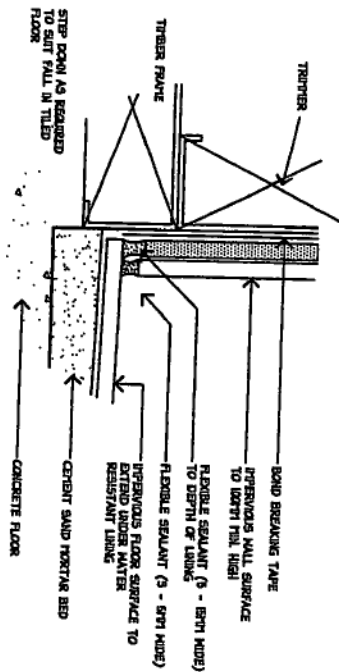
BATH INSTALLATION DETAIL



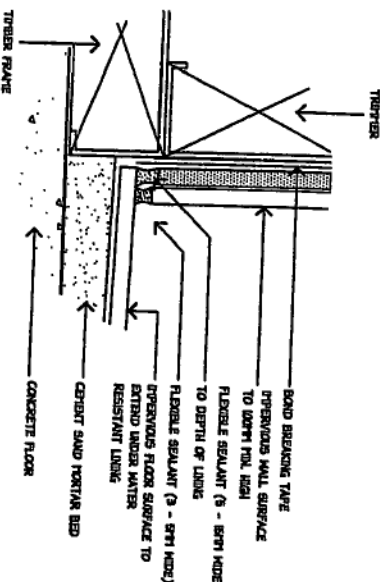
IMPERVIOUS JUNCTION OF FIXTURE AND IMPERVIOUS WALL



INTERNAL TRAY SHOWER & IMPERVIOUS WALL JUNCTION (CATEGORY 1)



JUNCTION OF IMPERVIOUS WALL & FLOOR (CATEGORY 2)



CERTIFICATION ISSUE

SHEET 6 OF 6
WET AREA DETAILS

Job No. QA-2ALDINGA

DATE: 26.2.08 SCALE: -

DRAWN: CB JOB TYPE: WD

PROPOSED BUILDING WORKS FOR:

QATRO UNITS 7 & 8

AT

NO. 2 - 6

ALDINGA BEACH ROAD

ALDINGA BEACH

AMENDMENT DATES

A. BLOCK TO POWERLINE.

21/04/08 CB

AREAS m²

● REMOTE ROOF NEED SHIELD ALONG

SPECIAL NOTES

AS ALUM. HORIZONTAL SLABING

ALUM. HORIZONTAL SLABING

ALUM. HORIZONTAL SLABING

ALUM. HORIZONTAL SLABING

ALUM. HORIZONTAL SLABING

ALUM. HORIZONTAL SLABING

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CONJUNCTION WITH BUILDING & SECTION SCHEDULES

FORGED DIMENSIONS SHALL USE METRIC OVER

SCALED DIMENSIONS

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CONTRACT PLAN
OWNER: _____

DATE: _____

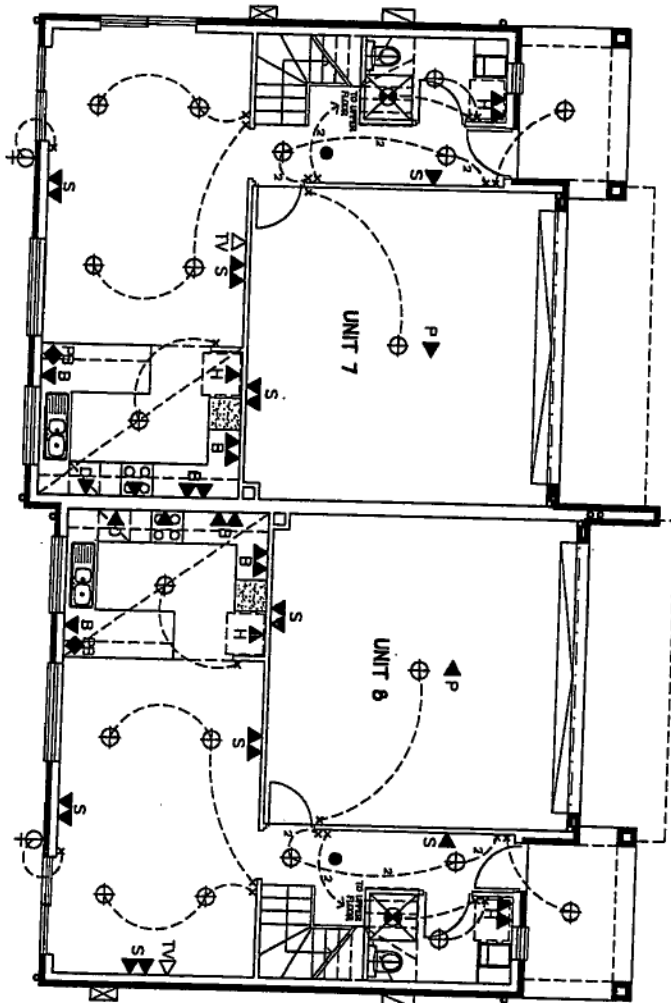
OWNER: _____

DATE: _____

BUILDER: _____

DATE: _____

LOWER FLOOR



SHEET 1 OF 2

ELECTRICAL PLAN

Job No. PR-2ALDINGA

PROPOSED RESIDENCE F
PRIME BUILDING COMPAN
UNITS 7 & 8

AT

No. 2 - 6

ALDINGA BEACH RD
ALDINGA BEACH

DATE: 19.8.08 DRAWN: CS

ELECTRICAL LEGEND
- LIGHT POINTS SHALL BE CENTRED IN ROOMS UNLESS OTHERWISE NOTED
- THE POSITION OF SOME ITEMS MAY VARY ON SITE
- REFER TO CONTRACT DOCUMENTS FOR ELECTRICAL CONNECTION REQUIREMENTS BEFORE CONSTRUCTION

⊕ LIGHT POINT

⊕ LIGHT SWITCH

⊕ LIGHT WITH 2-WAY SWITCH

⊕ DOWNLIGHT

⊕ WALL MOUNTED LIGHT (1800 A/L)

⊕ EXTERNAL (1800A/L - 2400 CEILING HT)

⊕ EXTERNAL (2100A/L - 2100 CEILING HT)

⊕ SINGLE POWER POINT

⊕ DOUBLE POWER POINT

⊕ HEIGHT OF POWER POINTS

⊕ S 250mm ABOVE FLOOR LEVEL

⊕ B ABOVE BENCH HEIGHT

⊕ H 1200mm ABOVE FLOOR LEVEL

⊕ R ROLLERDOOR 2100mm ABOVE FLOOR LEVEL

⊕ P PANEL LIGHT DOOR ON CEILING

⊕ A ALARM 1800mm ABOVE FLOOR LEVEL

⊕ D DRYWALLER

⊕ EXHAUST FAN

⊕ HARD WIRED SMOKE ALARM (POSITION TO BE DETERMINED BY BUILDER)

⊕ TV TV POINT

⊕ P /R/A PHONE POINT/HEIGHT

PRIME BUILDING COMPANY
11 STREET RD, ROBINSON, SA 5008
Phone: 08 8354 4777
Fax: 08 8359 6888

gooseysmith
DESIGNER

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CONTRACT PLAN

OWNER: _____

DATE: _____

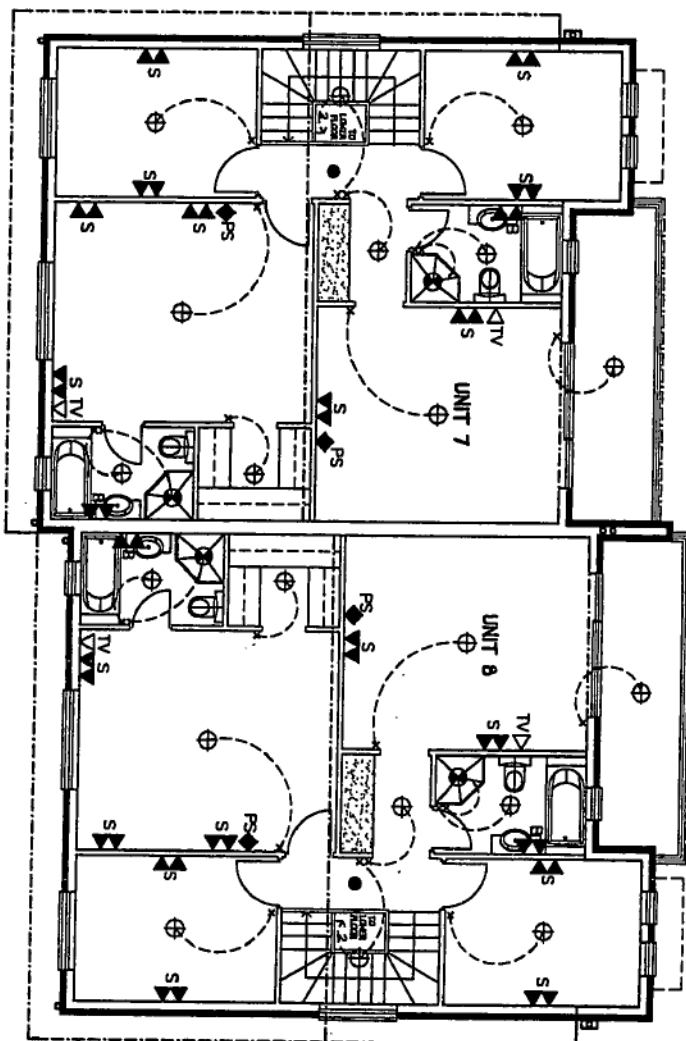
OWNER: _____

DATE: _____

BUILDER: _____

DATE: _____

UPPER FLOOR



ELECTRICAL PLAN

Job No. PR-2ALDINGA

PROPOSED RESIDENCE FOR
PRIME BUILDING COMPANY
UNITS 7 & 8

AT

No. 2 - 6
ALDINGA BEACH RD
ALDINGA BEACH

DATE: 18.6.08 DRAWN: CB

ELECTRICAL LEGEND
- LIGHT POINTS SHALL BE CENTRED IN ROOMS UNLESS
OTHERWISE SPECIFIED
- THE POSITION OF SOME ITEMS MAY VARY ON SITE TO
COMPLY WITH REGULATIONS
- RELATES TO CONCRETE APPLIANCE LOCATIONS AND
ELECTRICAL CONNECTION REQUIREMENTS BEFORE
CONSTRUCTION

⊕ LIGHT POINT

⊕ LIGHT SWITCH

⊕ LIGHT WITH 2-WAY SWITCH

⊕ DOWNLIGHT

⊕ WALL MOUNTED LIGHT (1000 MM)

⊕ EXTERNAL (1800MM - 2400 CEILING HT)

⊕ EXTERNAL (2100MM - 2700 CEILING HT)

⊕ SINGLE POWER POINT

⊕ DOUBLE POWER POINT

⊕ HEIGHT OF POWER POINTS

⊕ S 250mm ABOVE FLOOR LEVEL

⊕ B ABOVE BENCH HEIGHT

⊕ H 1200mm ABOVE FLOOR LEVEL

⊕ R ROLLERDOOR 2100mm ABOVE FLOOR LEVEL

⊕ P PANEL LEFT DOOR ON CEILING

⊕ A ALARM 1800mm ABOVE FLOOR LEVEL

⊕ D DISHWASHER

⊕ EXHAUST FAN

⊕ HARD WIRED SMOKE ALARM
(POSITION TO BE DETERMINED BY BUILDERS)

⊕ TV TV POINT

⊕ P /S/A PHONE POINT/ABOUT

PRIME BUILDING COMPANY
11 STUART RD, BROOKING, SA 5082
Phone: 08 8358 7777
Fax: 08 8358 4885

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DESIGN

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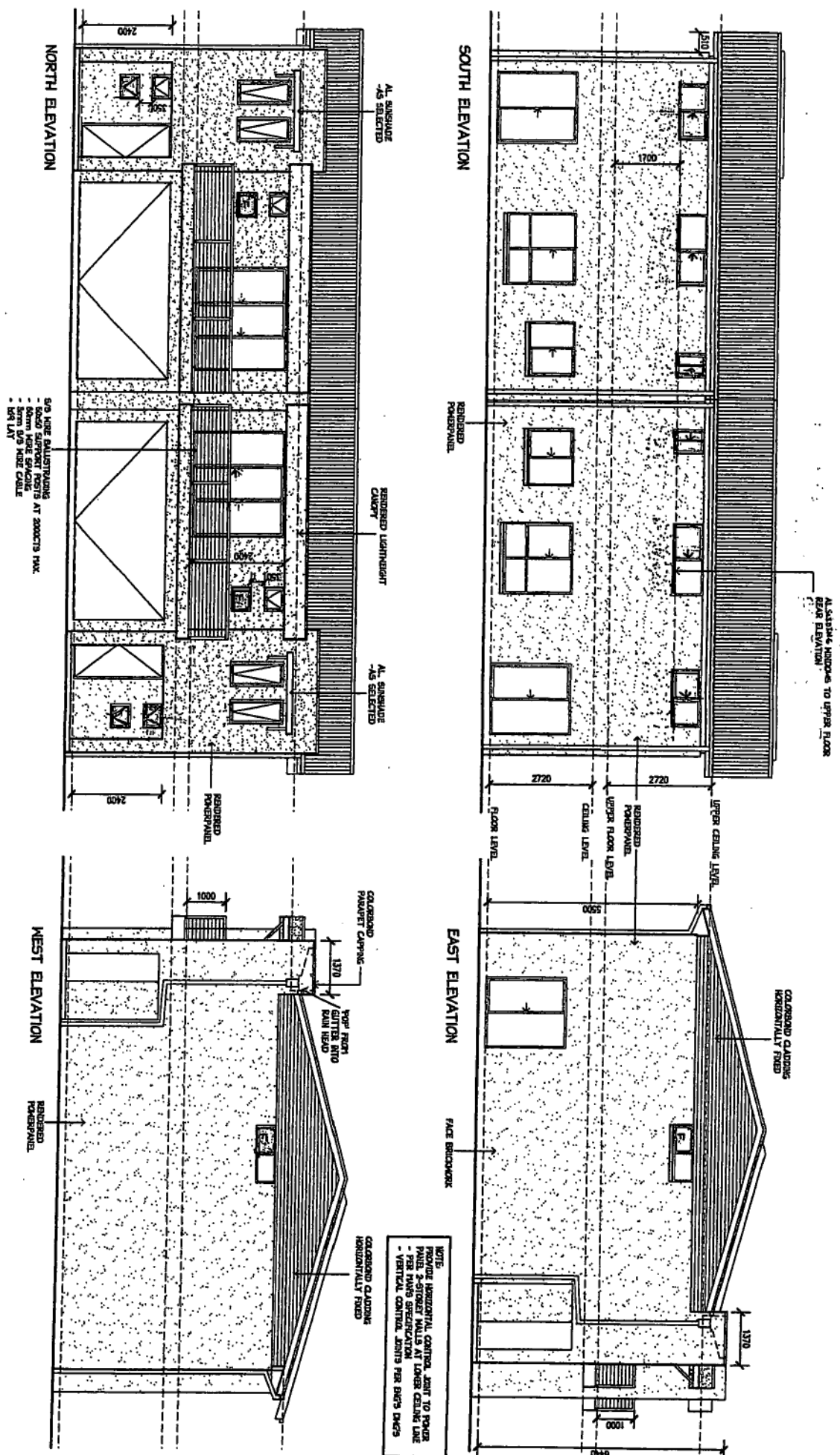
**FIELD DATA: SWATH PROFILES AND
SCALD MEASUREMENTS.**

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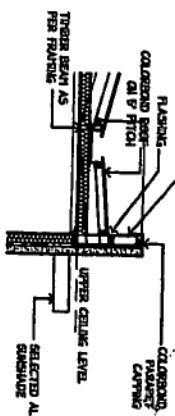
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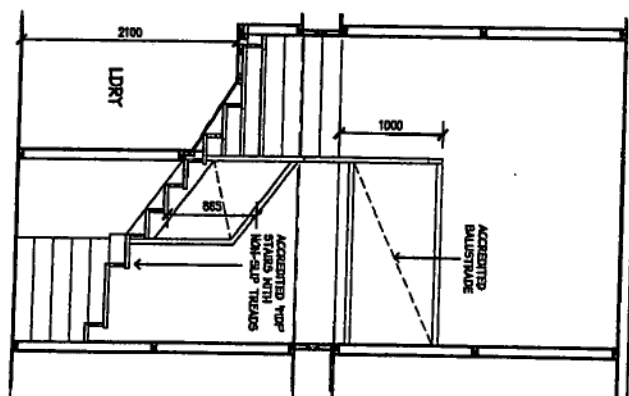
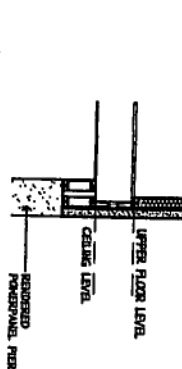
CERTIFICATION ISSUE



SCALE 1400



SECTION E
SCALE 1:60



ה

SECTION D-D
SCALE 1/8"

CERTIFICATION ISSUE

4 OF 6
SECTIONS

PROPOSED BUILDING WORKS FOR QATTRO

AMENDMENT DATES

21/09/08 08:

AREAS m²

● DEMONSTRATES CORRECT WIRED SHOCK ALARM WITH BATTERY BACK-UP INSTALLATION ACCORDANCE WITH AS 3786-1983

SPECIAL NOTES

AS ALLIA HORIZONTAL SUDOR
ALLEN ALLIA AVERING

Job No. QA-2ALDINGA

DATE: 28.2.08 SCALE: AS SHOWN

NO. 2 - 6
ALDINGA BEACH ROAD
ALDINGA BEACH

100

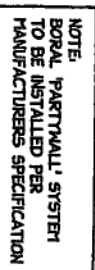
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TDM

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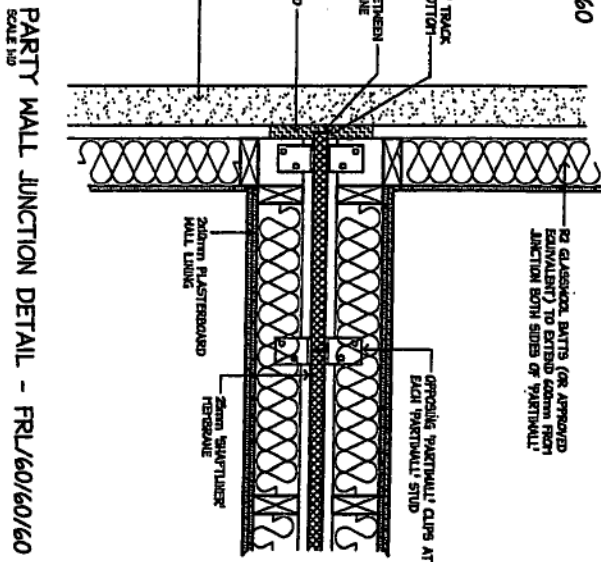
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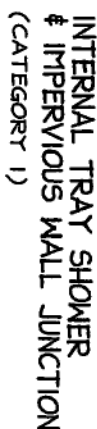
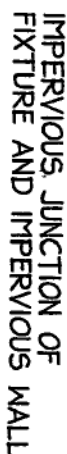
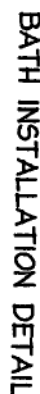
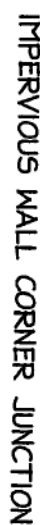
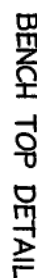
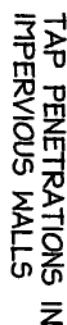
DATE:

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CERTIFICATION ISSUE



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TRACT PLAN

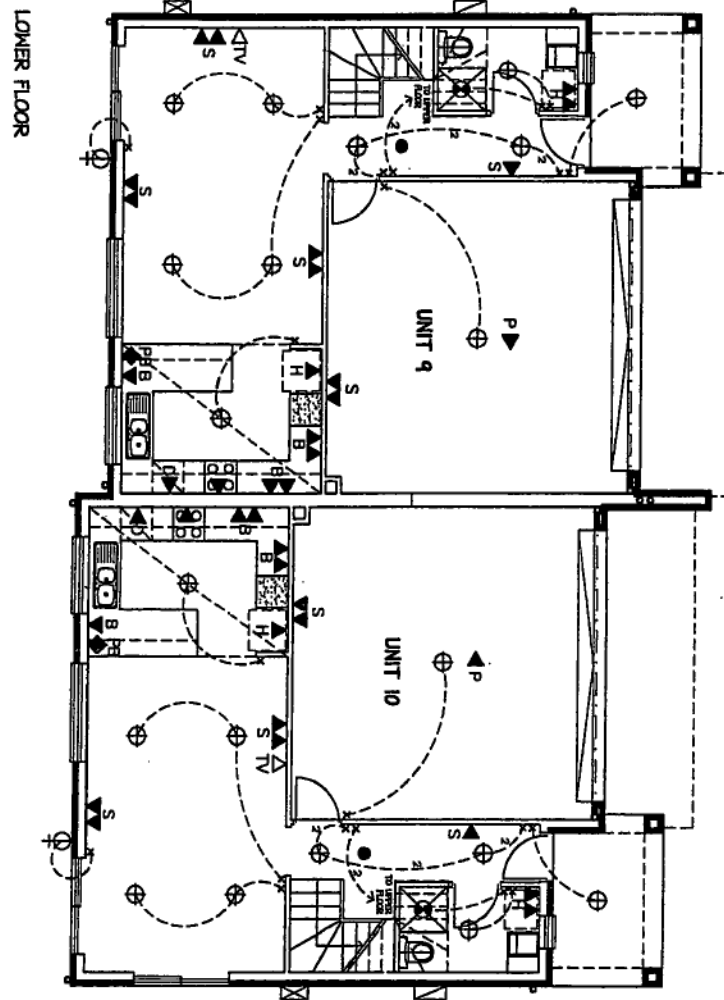
DATE:

OWNER:

DATE:

BUILDER:

DATE:



LOWER FLOOR

SHEET 1 OF 2
ELECTRICAL PLAN
Job No. PR-2ALDINGA

PROPOSED RESIDENCE FOR
PRIME BUILDING COMPANY
UNITS 9 & 10
AT
No. 2 - 6
ALDINGA BEACH RD
ALDINGA BEACH
DATE: 19.6.08 DRAWT: CB

ELECTRICAL LEGEND
- LIGHT POINTS WILL BE CENTERED IN ROOMS UNLESS OTHERWISE NOTED
- SWITCHES ARE SHOWN IN THE FOLLOWING POSITIONS UNLESS NOTED OTHERWISE
- LIGHTS TO BE CONTROLLED BY 2-WAY SWITCHES
- SWITCHES TO CONTROL APPLIANCE LOCATIONS AND ELECTRICAL CONNECTIONS TO BE DETERMINED BY THE BUILDER

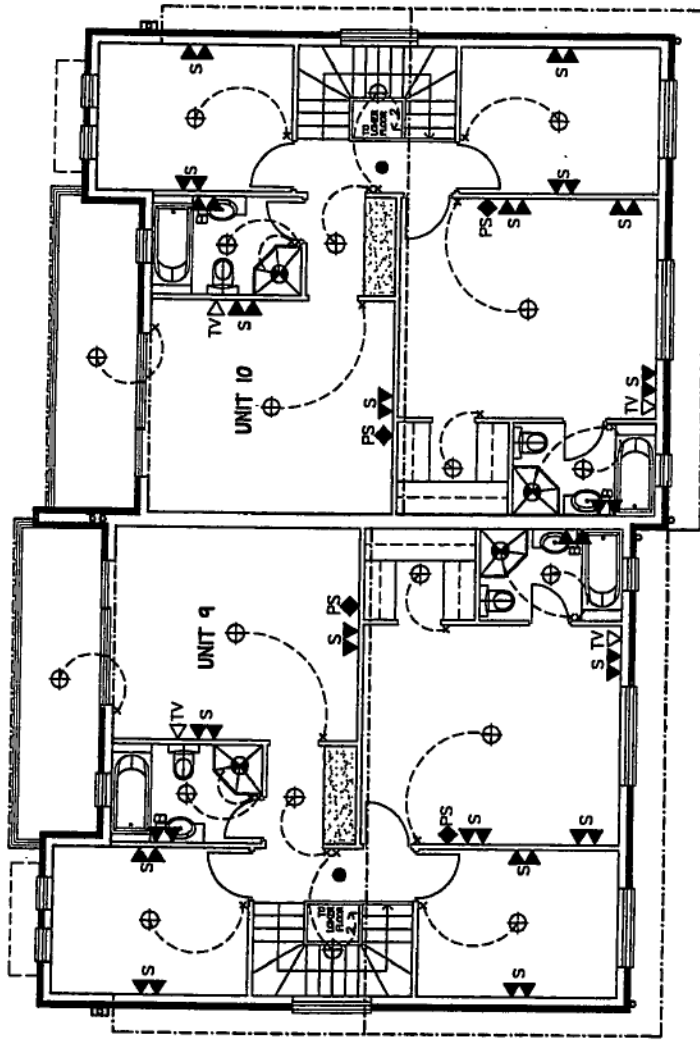
- ⊕ LIGHT POINT
- ⊕ LIGHT SWITCH
- ⊕ LIGHT WITH 2-WAY SWITCH
- ⊕ DOWNLIGHT
- ⊕ WALL MOUNTED LIGHT (1800 MM)
- ⊕ EXTERNAL (1800MM - 2400 CEILING HT)
- ⊕ EXTERNAL (2100MM - 2700 CEILING HT)
- ⊕ SINGLE POWER POINT
- ⊕ DOUBLE POWER POINT
- ⊕ HEIGHT OF POWER POINTS
- ⊕ S 250mm ABOVE FLOOR LEVEL
- ⊕ B 1200mm ABOVE FLOOR LEVEL
- ⊕ H 1200mm ABOVE FLOOR LEVEL
- ⊕ R ROLLERDOOR 2100mm ABOVE FLOOR LEVEL
- ⊕ P PANEL LEFT DOOR ON CEILING
- ⊕ A ALARM 1800mm ABOVE FLOOR LEVEL
- ⊕ D DOWNSWITCH
- ⊕ EXHAUST FAN
- ⊕ HARD WIRED SMOKE ALARM (POSITION TO BE DETERMINED BY BUILDER)
- ⊕ TV TV POINT
- ⊕ P 5/8" PHONE POINT/HEIGHT

PRIME BUILDING COMPANY
11 STURT RD, BENTON, SA 5048
Phone: 08 8338 1777
Fax: 08 8338 1888

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[Handwritten Signature]



UPPER FLOOR

ELECTRIC PLAN	
Job No. PR-2ALDINGA	
PROPOSED RESIDENCE FOR PRIME BUILDING COMPANY UNITS 9 & 10 AT No. 2 - 6 ALDINGA BEACH RD ALDINGA BEACH	
DATE: 19.6.08	DRAWN: CB
ELECTRICAL LEGEND - LIGHT POINTS WILL BE CENTRED IN ROOMS UNLESS OTHERWISE SHOWN - THE POSITION OF SOME ITEMS MAY VARY ON SITE TO COMPLY WITH REGULATIONS - REFER TO CONFORM APPLIANCE LOCATIONS AND ELECTRICAL CONNECTION REQUIREMENTS BEFORE CONSTRUCTION ⊕ LIGHT POINT ⊗ LIGHT SWITCH ⊕ LIGHT WITH 2-WAY SWITCH ⊕ DOWNLIGHT ⊕ WALL MOUNTED LIGHT (1800 APL) ⊕ EXTERNAL (1800AFL - 2400 CEILING HT) ⊕ EXTERNAL (2100AFL - 2700 CEILING HT) ◀ SINGLE POWER POINT ◀ DOUBLE POWER POINT HEIGHT OF POWER POINTS ◀ S 250mm ABOVE FLOOR LEVEL ◀ B ABOVE BENCH HEIGHT ◀ H 1200mm ABOVE FLOOR LEVEL ◀ R ROLLERDOOR 2100mm ABOVE FLOOR LEVEL ◀ P PANEL LEFT DOOR ON CEILING ◀ A ALARM 1800mm ABOVE FLOOR LEVEL ◀ D DUSTWASHER ⊗ EXHAUST FAN ● HARD WIRED SMOKE ALARM (POSITION TO BE DETERMINED BY BUILDER) ◁ TV TV POINT ◆ P /S/B/H PHONE POINT/HEIGHT	
PRIME BUILDING COMPANY 11 STURT RD BENDIGO, SA 5018 Phone 08 8553 4577 Fax 08 8553 4580	
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