

EXISTING GROUND FLOOR PLAN

SCALE 1:100

I certify that work completed in accordance with these plans and specifications will comply with the regulations referred to in Section 81A(5) of the Environment Planning & Assessment Act 1979

This is the plan/spec referred to in Form Building Certifiers Certificate
Certificate No. CC2015-270-MOD1
Plan No. 01-12
20.6.17
Craig Formosa BPB0124 DATE

WINDOW AND DOOR SCHEDULE

WINDOW/DOOR	WIDTH	HEIGHT	NOTES
W.1	1800	1200	
W.2	1800	600	
W.3	2100	2400	
W.4	1800	1200	
W.5	1800	1200	
W.6	600	600	TRANSLUCENT GLASS
W.7	1500	600	TRANSLUCENT GLASS
W.8	900	600	TRANSLUCENT GLASS
W.9	3600	2400	
SD.1	4000	2400	
SD.2	1800	2400	
SD.3	2400	2400	

CONFIRM ALL DOOR AND WINDOW SIZES ON SITE
ALL EXTERNAL GLAZING IS TO HAVE A MINIMUM
REFLECTIVITY INDEX OF 25%

AMMENDMENTS			PROPOSED ADDITION TO THE EXISTING DWELLING		FOR MR. & MRS. KRAMER					
Issue	Description	Date	LOCATION	NO.3 TOTALA PLACE, ELANORA HEIGHTS	DATE	DRAWN BY	CHECKED	JOB No.	SHEET No.	SCALE
A	DA PLANS	20.10.14			05.12.16	KWT	NICK .K	141562	01 OF 12	1 : 100
B	CONSTRUCTION CERTIFICATE	20.08.15								
C	SECTION 96 MODIFICATION	05.12.16								

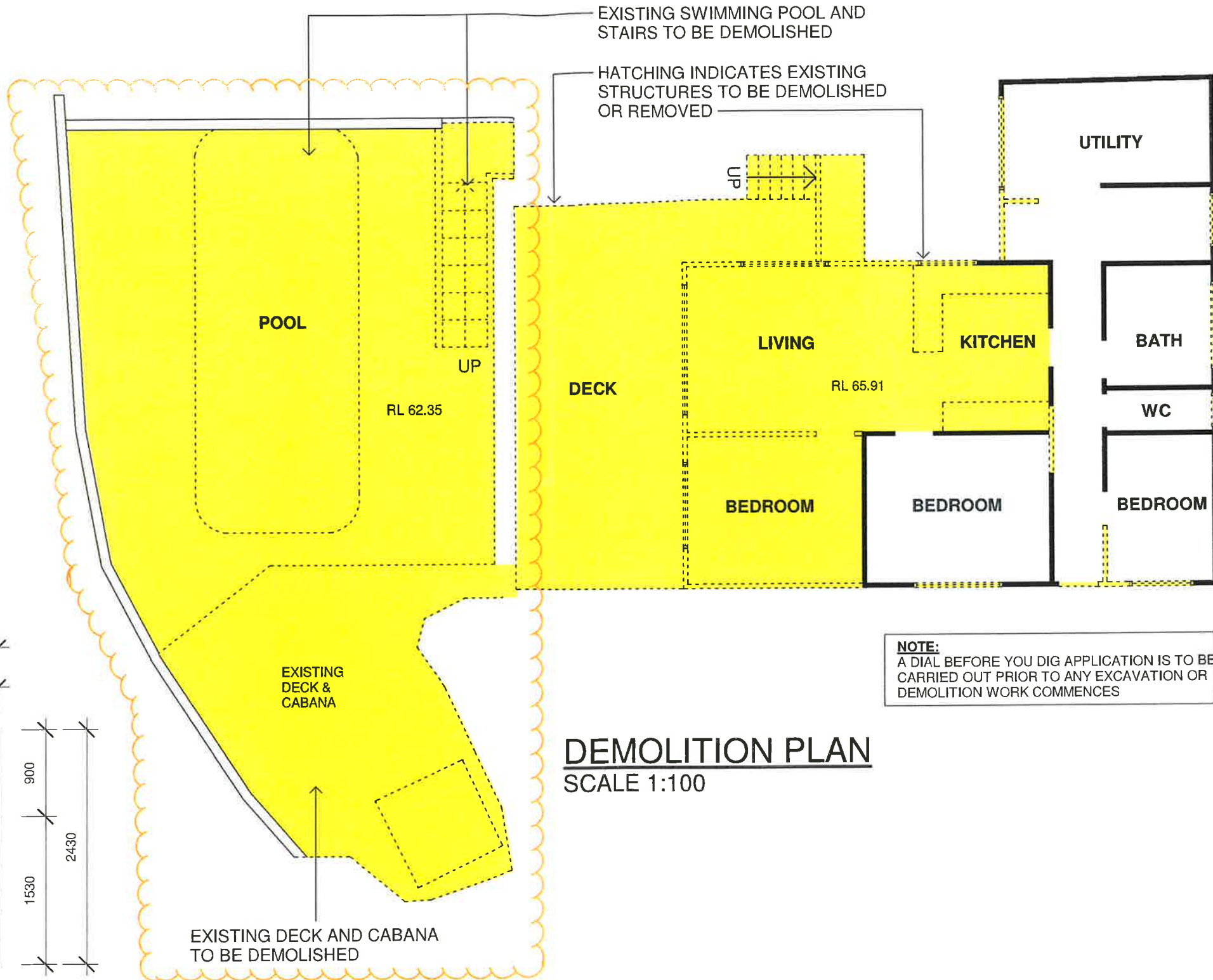
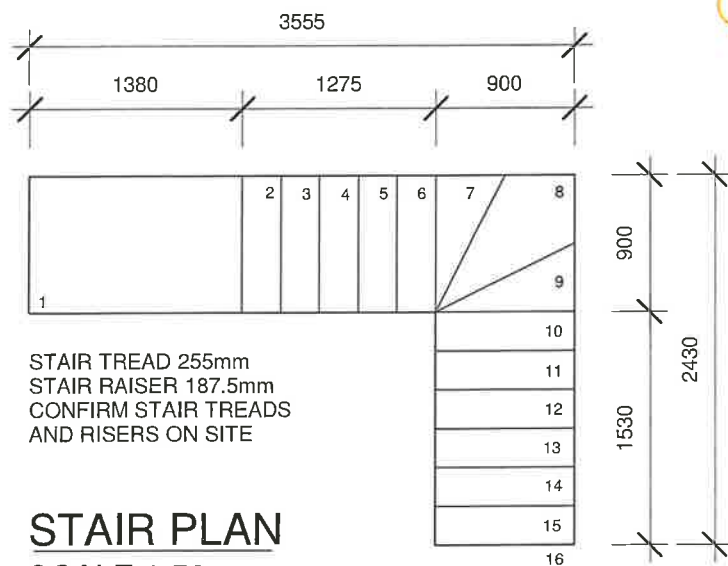
NOTE

ALL DEMOLITION WORK TO COMPLY
WITH AS 2601 - 2001

EXISTING SWIMMING POOL AND
STAIRS TO BE DEMOLISHED

HATCHING INDICATES EXISTING
STRUCTURES TO BE DEMOLISHED
OR REMOVED

NORTH



NOTE:

A DIAL BEFORE YOU DIG APPLICATION IS TO BE
CARRIED OUT PRIOR TO ANY EXCAVATION OR
DEMOLITION WORK COMMENCES

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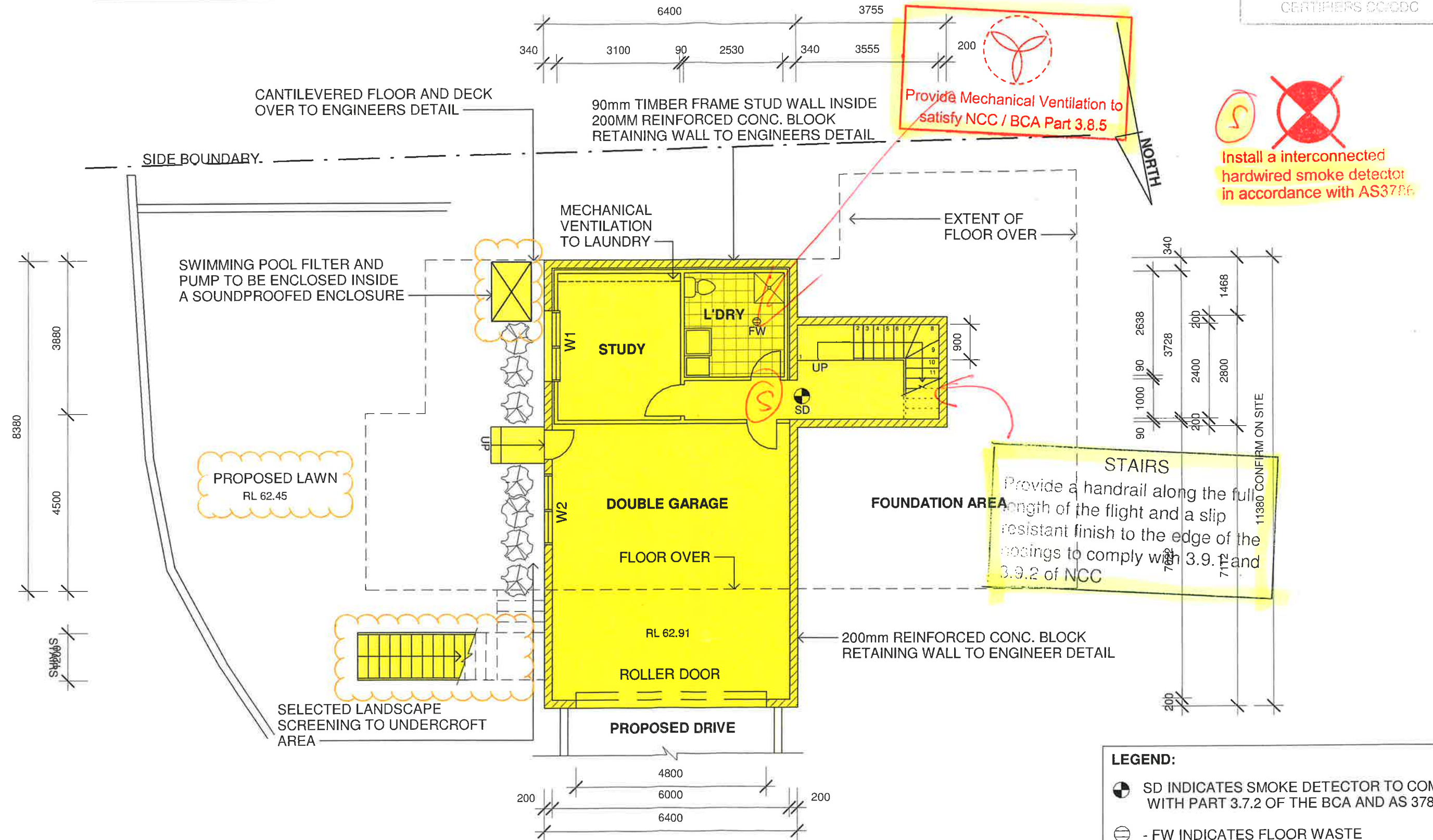
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ALL DIMENTIONS AND LEVELS TO BE
CONFIRMED ON SITE

THIS PLAN/DRAWING FORMS
PART OF FORM BUILDING
CERTIFIERS CO/DOC



PROPOSED LOWER LEVEL PLAN
SCALE 1:100

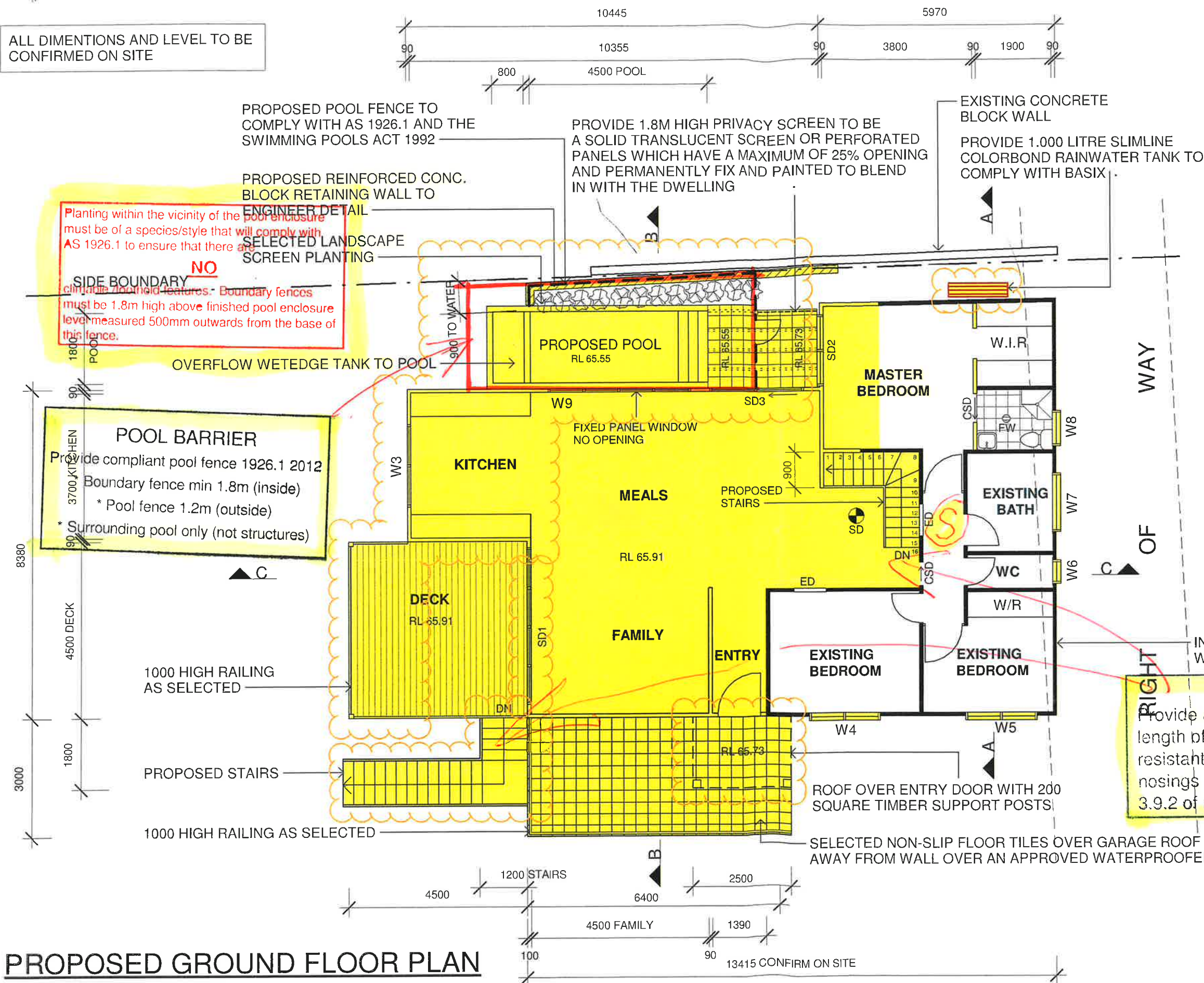
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NICK KARAHALIOS
ARCHITECTURAL DRAFTSMAN
DESIGNER - HOUSES, TERRACES, VILLAS
EXTENSIONS & ALTERATIONS
9360 5121 MOBILE: 0433 346 512 FAX: 9360 4382
870 380 KING STREET, SUITE 1, SUDBURY QLD 4013

ALL DIMENSIONS AND LEVEL TO BE
CONFIRMED ON SITE

THIS IS A DOCUMENT FORM 3
PART OF FORM BUILDING
CERTIFIERS CC/CDC



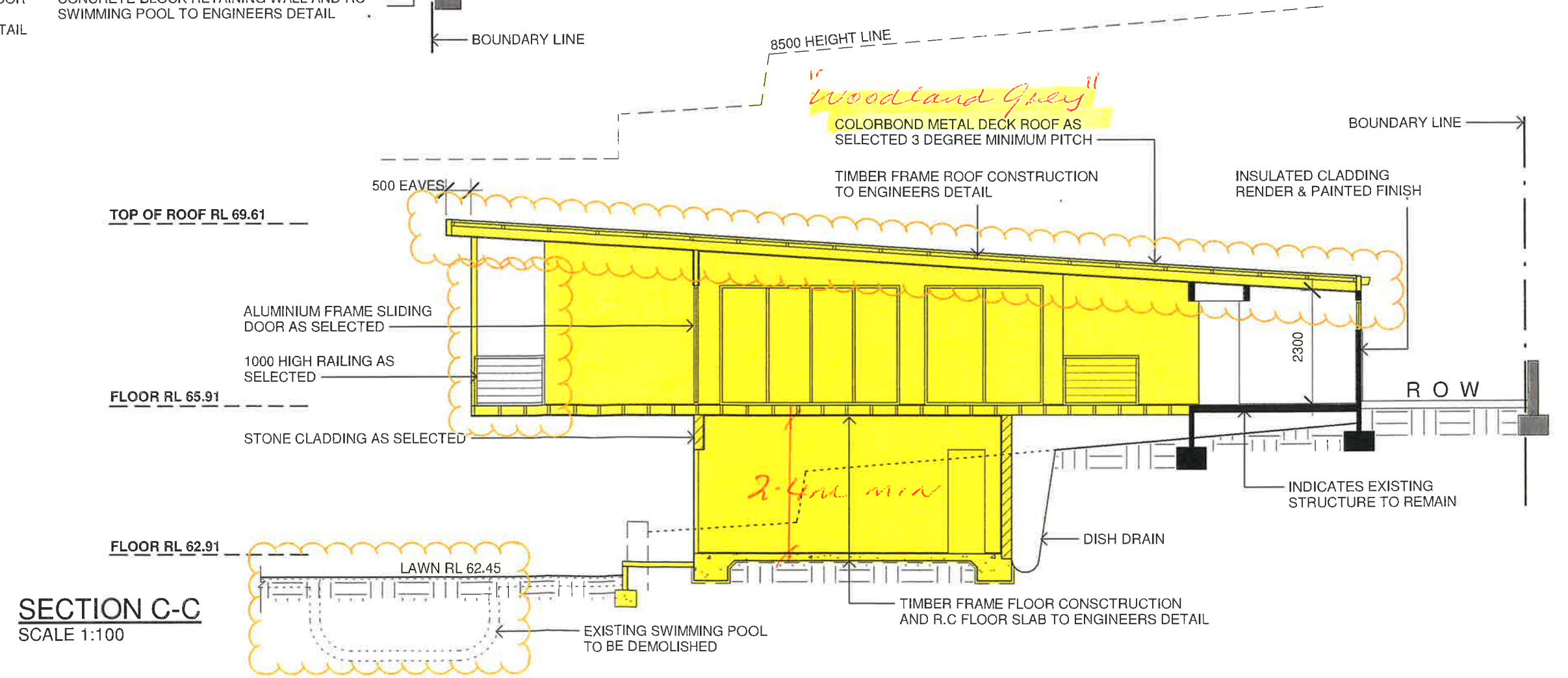
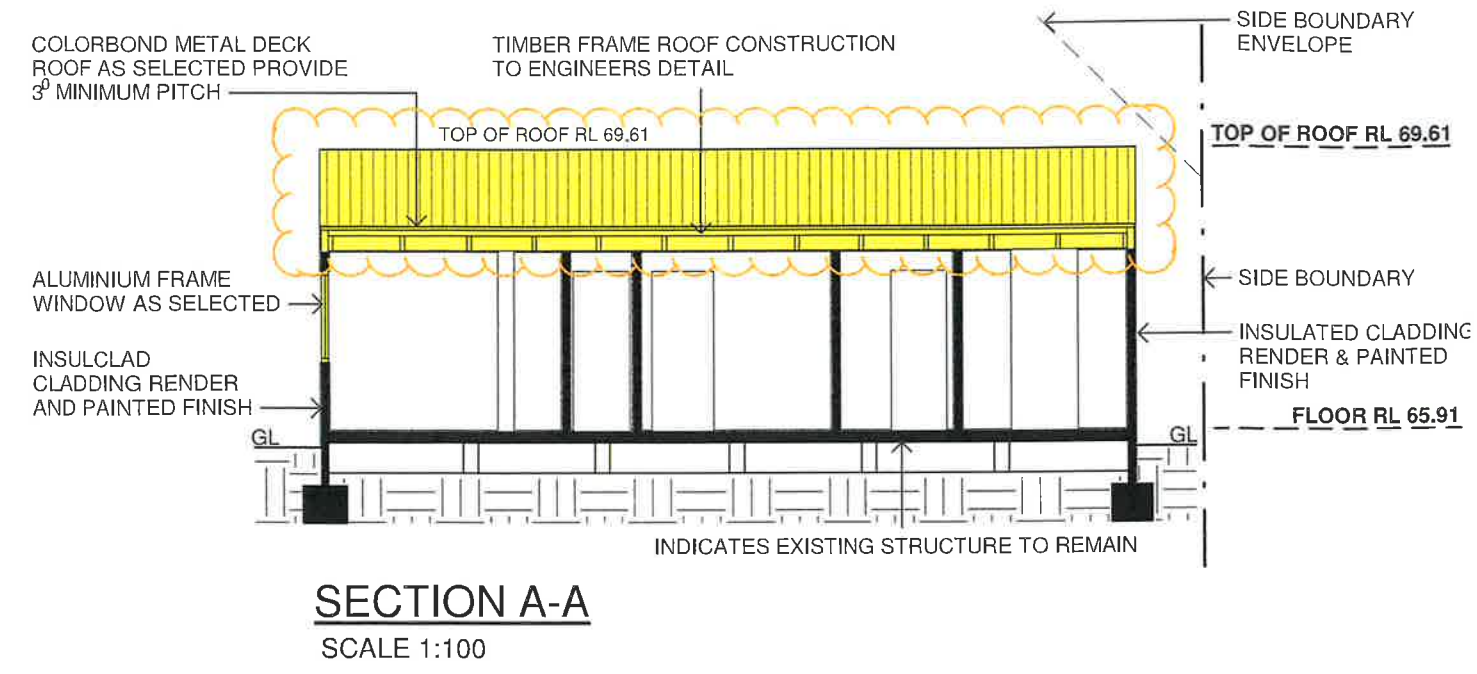
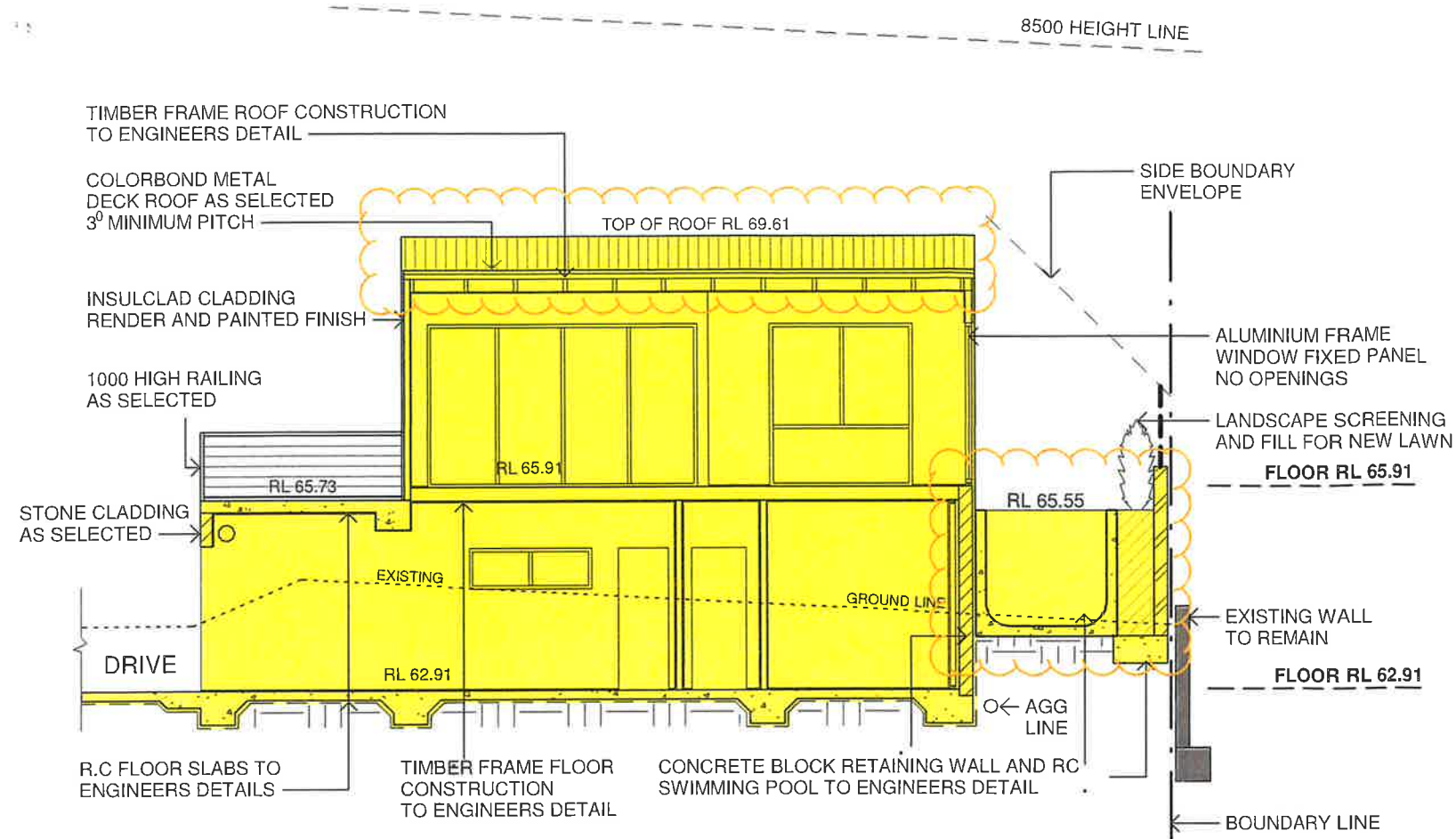
PROPOSED GROUND FLOOR PLAN
SCALE 1:100

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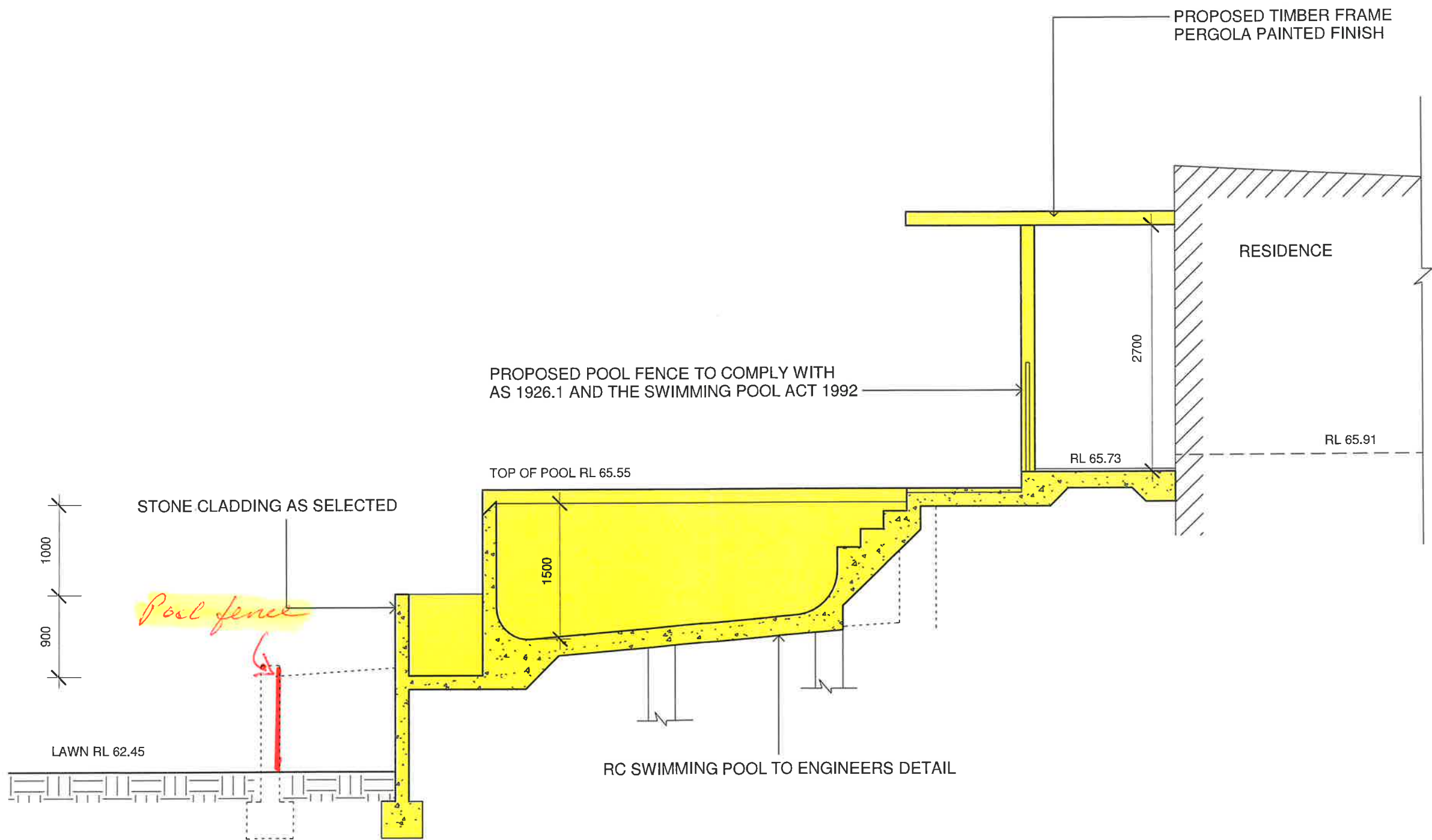
LOCATION

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NICK KARAHALIOS
ARCHITECTURAL DRAFTSMAN
DESIGNER PLANNER VISUALISER
DTP/REVIEWS & ALTERATIONS

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212 RICHMOND STREET SUITE 111 ELANORA HEIGHTS QLD 4031



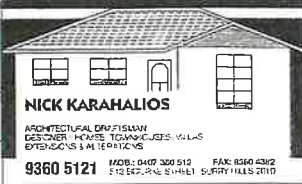
POOL LONGITUDINAL SECTION

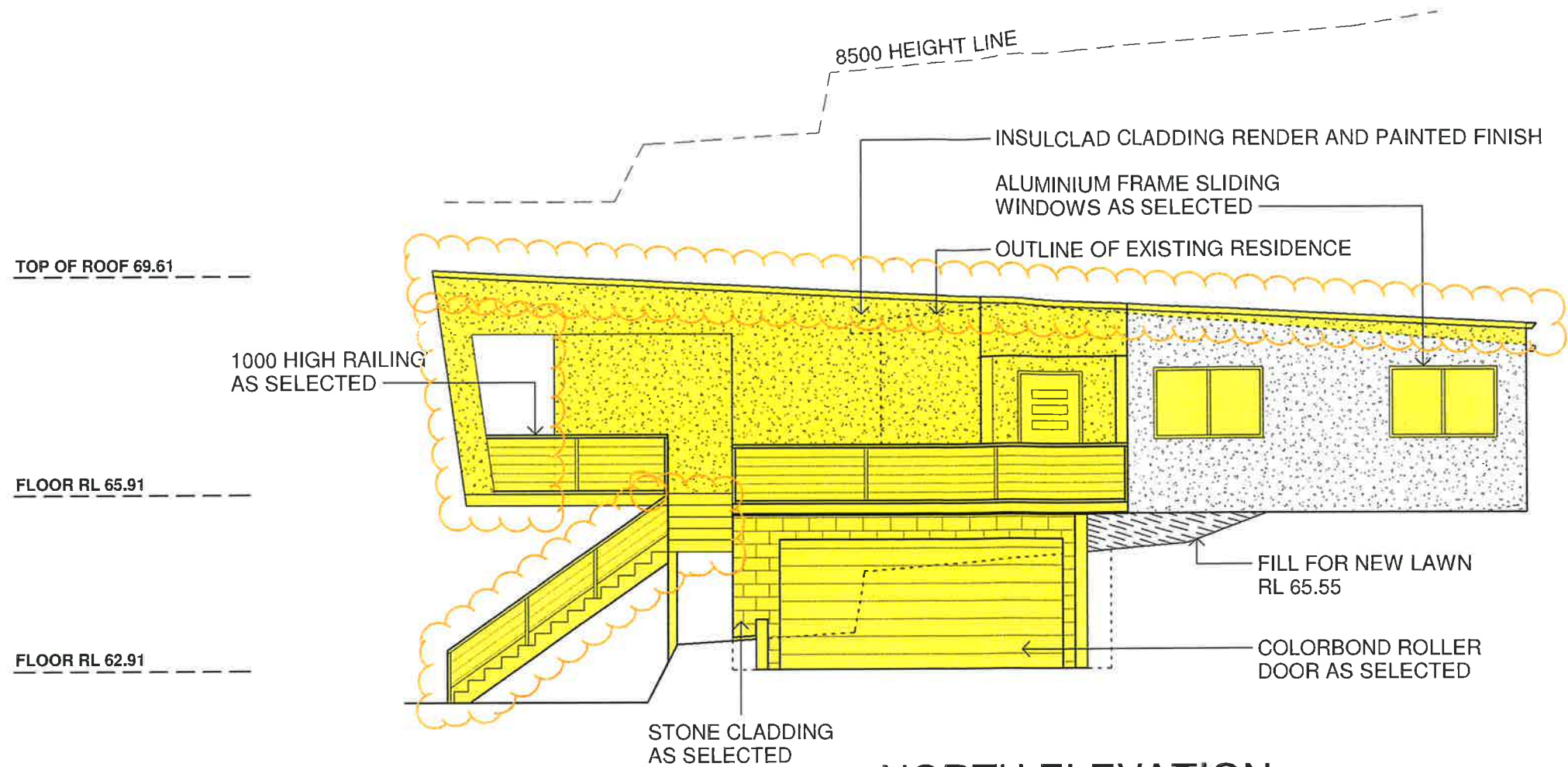
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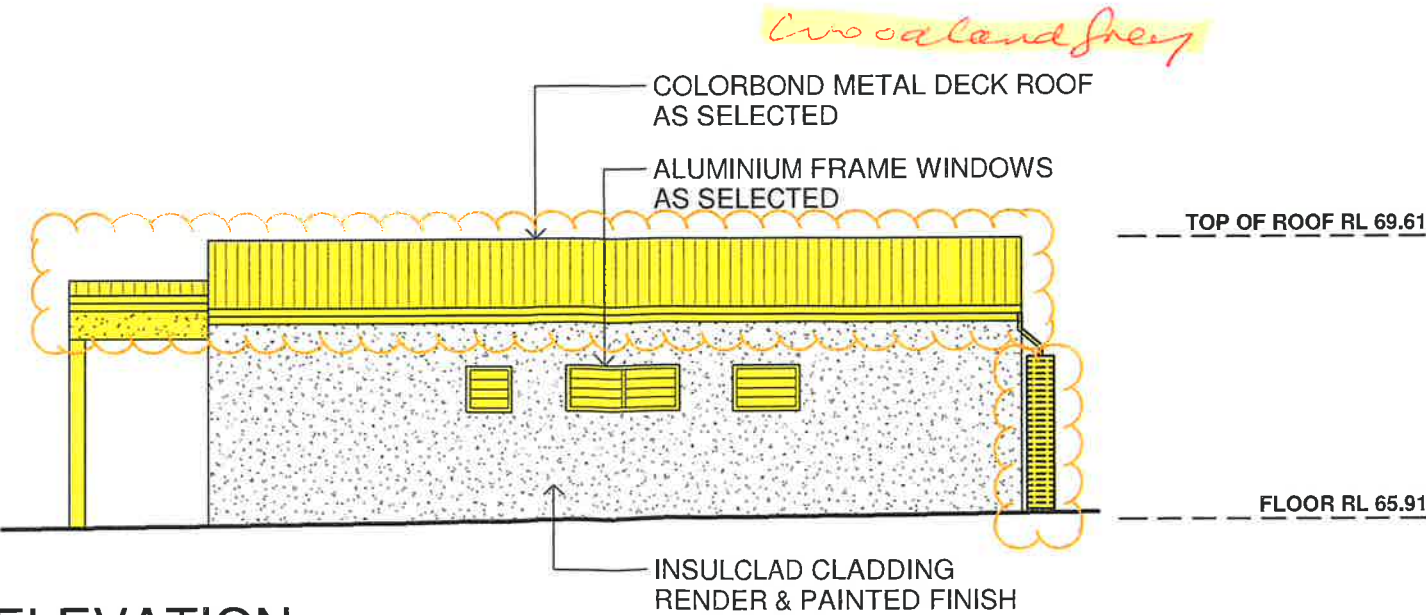




NORTH ELEVATION
SCALE 1:100

BALUSTRADES- NCC/BCA Part 3.9.
No horizontal elements to facilitate
climbing between 150mm to 760mm
where floor to level below is more
than 4 metres.

*Bedroom
windows
2m above G.L.*
PROVIDE 1.7M SILL HEIGHT
OR CHILDSAFE LOCKS / SCREENS TO
COMPLY WITH BCA / NCC 2013



WEST ELEVATION
SCALE 1:100

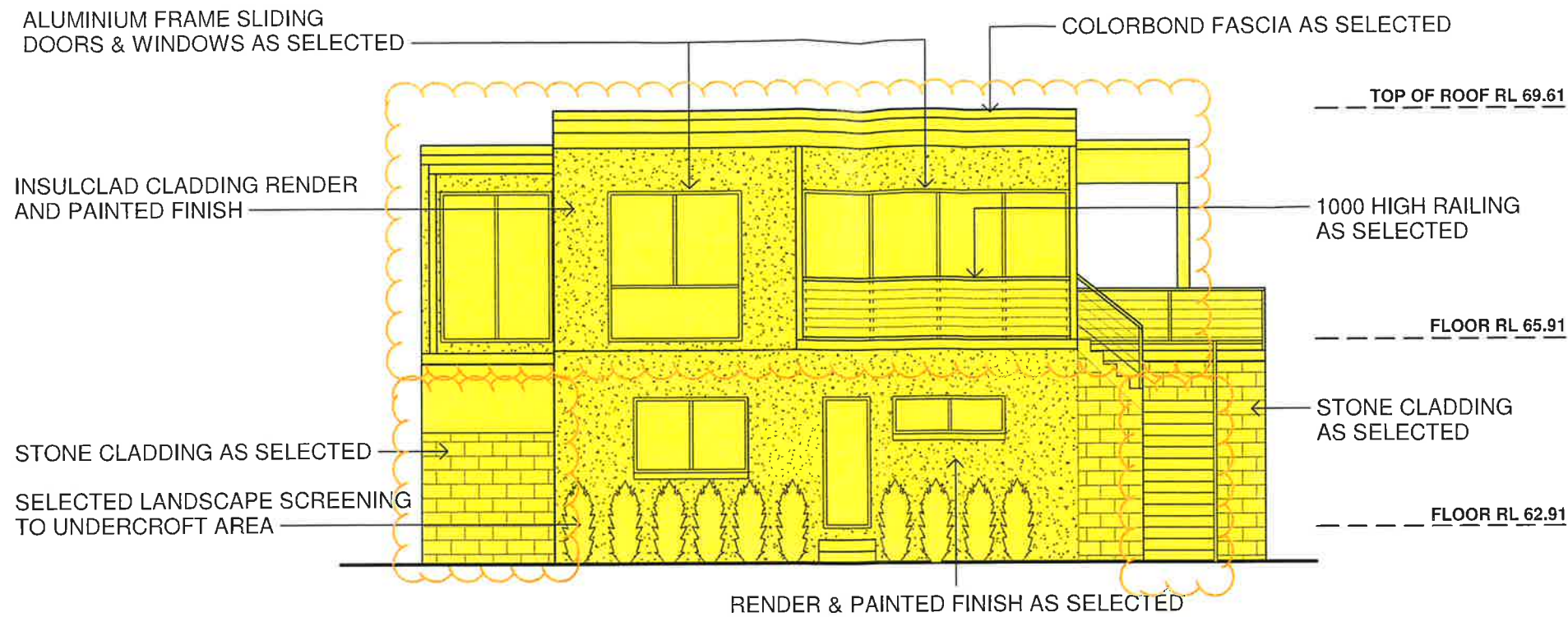
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NICK KARAHALIOS
ARCHITECTURAL DRAFTSMAN
DESIGNER: HOUSES, TOWNHOUSES, VILLAS,
EXTENSIONS & REPAIRS

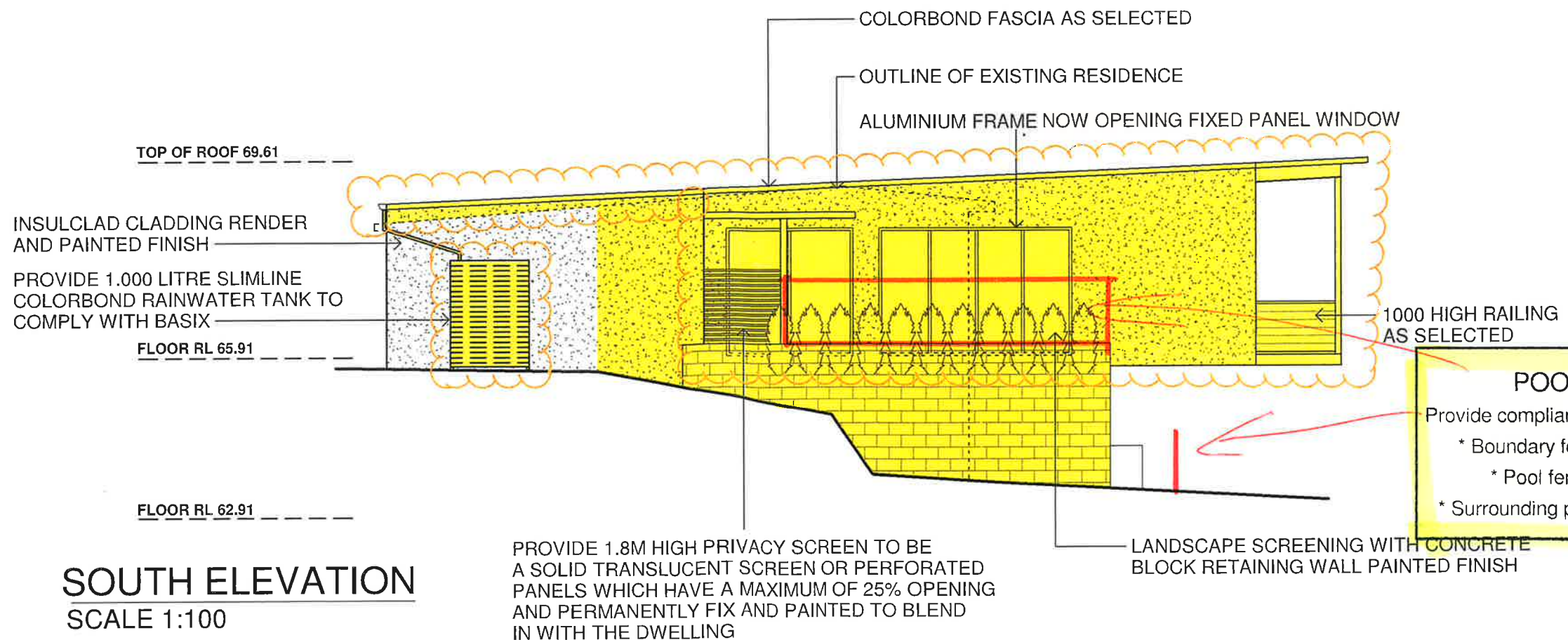
9360 5121 MOBILE: 0438 286 812 FAX: 9360 4382
1/100 BULLIOCK, ELANORA HEIGHTS, QUEENSLAND 4001



EAST ELEVATION
SCALE 1:100

BALUSTRADES- NCC/BCA Part 3.9.
No horizontal elements to facilitate
climbing between 150mm to 760mm
where floor to level below is more
than 4 metres.

*Bedroom
Windows*
PROVIDE 1.7M SILL HEIGHT
OR CHILDSAFE LOCKS / SCREENS TO
COMPLY WITH BCA / NCC 2013



SOUTH ELEVATION
SCALE 1:100

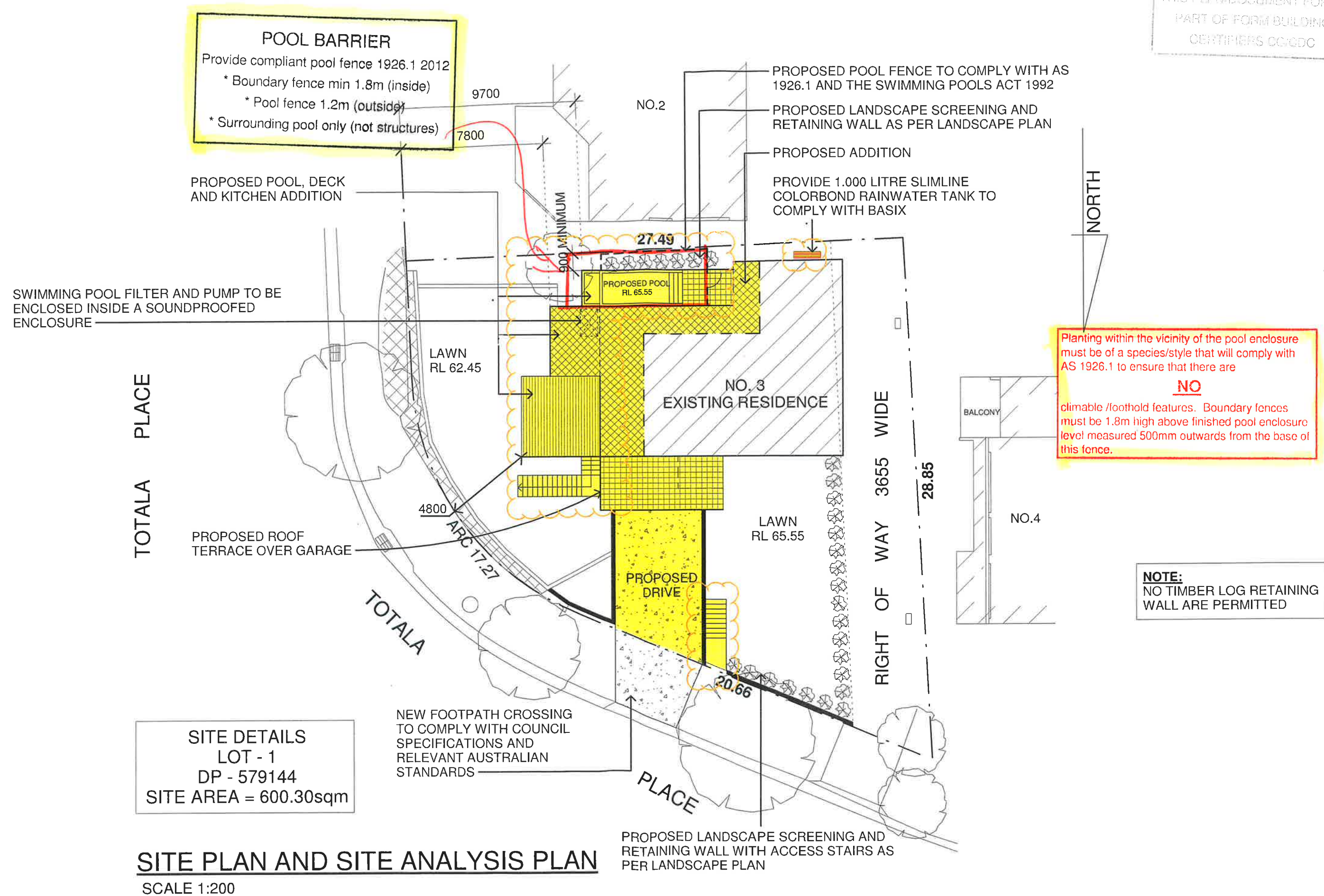
POOL BARRIER
Provide compliant pool fence 1926.1 2012
* Boundary fence min 1.8m (inside)
* Pool fence 1.2m (outside)
* Surrounding pool only (not structures)

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NICK KARAHALIOS
ARCHITECT/PLANNER/DESIGNER
DISCUSS YOUR PROJECTS, VISIONS
EXTENSIVE ALTERATIONS

9360 5121 MOB: 0407 506 512 FAX: 0560 4282
PO BOX 11111 ELANORA QLD 4031

BASIX CERETIFICATE COMPLIANCE REQUIREMENTS

RAINWATER TANK

THE APPLICANT MUST INSTALL A RAINWATER TANK OF AT LEAST 820 LITRES ON THE SITE.
THE APPLICANT MUST CONFIGURE THE RAINWATER TANK TO COLLECT RAINWATER RUNOFF FROM AT LEAST 165 SQUARE METRES OF ROOF AREA.
THE APPLICANT MUST CONNECT THE RAINWATER TANK TO A TAP LOCATED WITHIN 10 METRES OF THE EDGE OF THE POOL.

SWIMMING POOL

THE SWIMMING POOL MUST BE OUTDOORS.
THE SWIMMING POOL MUST NOT HAVE A CAPACITY GREATER THAN 12 KILOLITRES.
THE APPLICANT MUST INSTALL A POOL PUMP TIMER FOR THE SWIMMING POOL.
THE APPLICANT MUST NOT INCORPORATE ANY HEATING SYSTEM FOR THE SWIMMING POOL THAT IS PART OF THIS DEVELOPMENT.

LIGHTING

THE APPLICANT MUST ENSURE A MINIMUM 40% OF NEW OR ALTERED LIGHT FITTINGS ARE TO BE FITTED WITH FLUORESCENT, COMPACT FLUORESCENT OR LIGHT-EMITTING DIODE (LED) LAMPS.

FIXTURES

THE APPLICANT MUST ENSURE NEW OR ALTERED SHOWERHEADS AND TAPS HANE A FLOW RATE NO GREATER THAN 9 LITRES PER MINUTE OR A 3 STAR WATER RATING.
THE APPLICANT MUST ENSURE NEW OR ALTERED TOILETS HANE A FLOW RATE NO GREATER THAN 4 LITRES PER AVERAGE FLUSH OR A 3 STAR WATER RATING.

INSULATION REQUIREMENTS

CONCRETE SLAB ON GROUND FLOOR – ADDITIONAL INSULATION NILL
SUSPENDED FLOOR ABOVE GARAGE: FRAMED (R0.7) - ADDITIONAL INSULATION NILL
FLOOR ABOVE EXISTING DWELLING OR BUILDING – ADDITIONAL INSULATION NILL
EXTERNAL WALL: FRAMED (WEATHERBOARD, FIBRO,METAL CLAD) – ADDITIONAL INSULATION R1.30 (OR R1.70 INCLUDING CONSTRUCTION)
INTERNAL WALL SHARED WITH GARAGE: PLASTERBOARD (R0.36) - ADDITIONAL INSULATION NILL
FLAT CEILING, FLAT ROOF: FRAMED – ADDITIONAL INSULATION CEILING: R0.58 (UP), ROOF: FOIL BACKED BLANKET (100 MM) MEDIUM (SOLAR ABSORPTANCE 0.475 - 0.70)

SHADING OVER WINDOWS AND SLIDING DOORS

WINDOWS - W1, W2, W3, = 900mm MINIMUM
WINDOWS - W4, W5, W8 = EXTERNAL LOUVRE BLIND ADJUSTABLE
WINDOW – W7, = EXTERNAL LOUVRE BLIND FIXED
WINDOWS – W6, W9, = NO SHADING
SLIDING DOOS – SD1, SD2, SD3 = 900mm MINIMUM

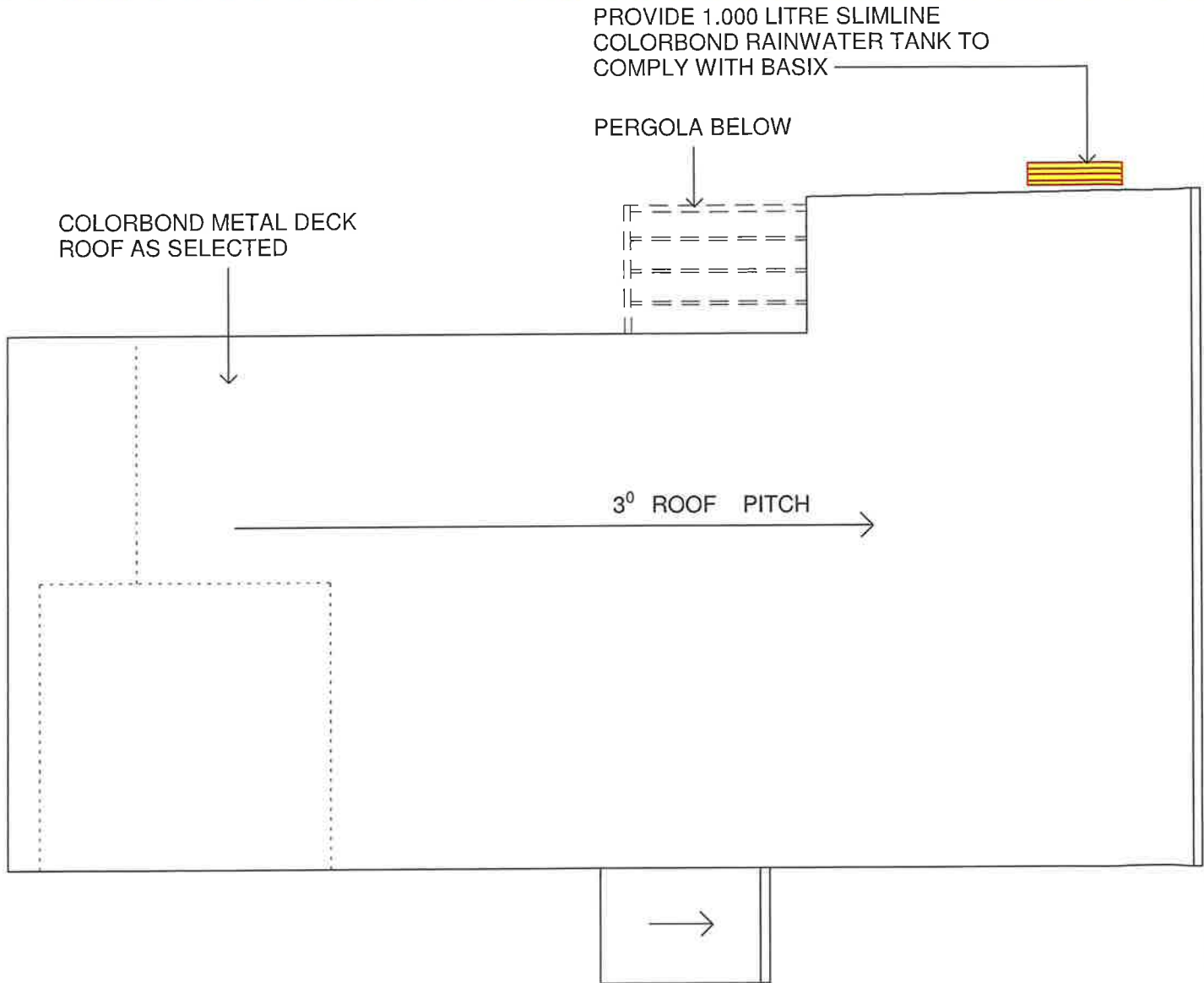
FRAMING AND GLASS TYPE TO WINDOWS AND DOORS

IMPROVED ALUMINIUM SINGLE/CLEAR,(U-VALUE: 6.44, SHGC: 0.75)

ABOVE NOTES TO BE READ IN-CONJUNCTION WITH THE BASIX CERTIFICATE – NUMBER A205118_04

NOTE:

ALL DOWNPIPE LOCATIONS TO BE IN-ACCORDANCE WITH THE STORMWATER PLAN PREPARED BY L.P CONSULTING AUSTRALIA P/L



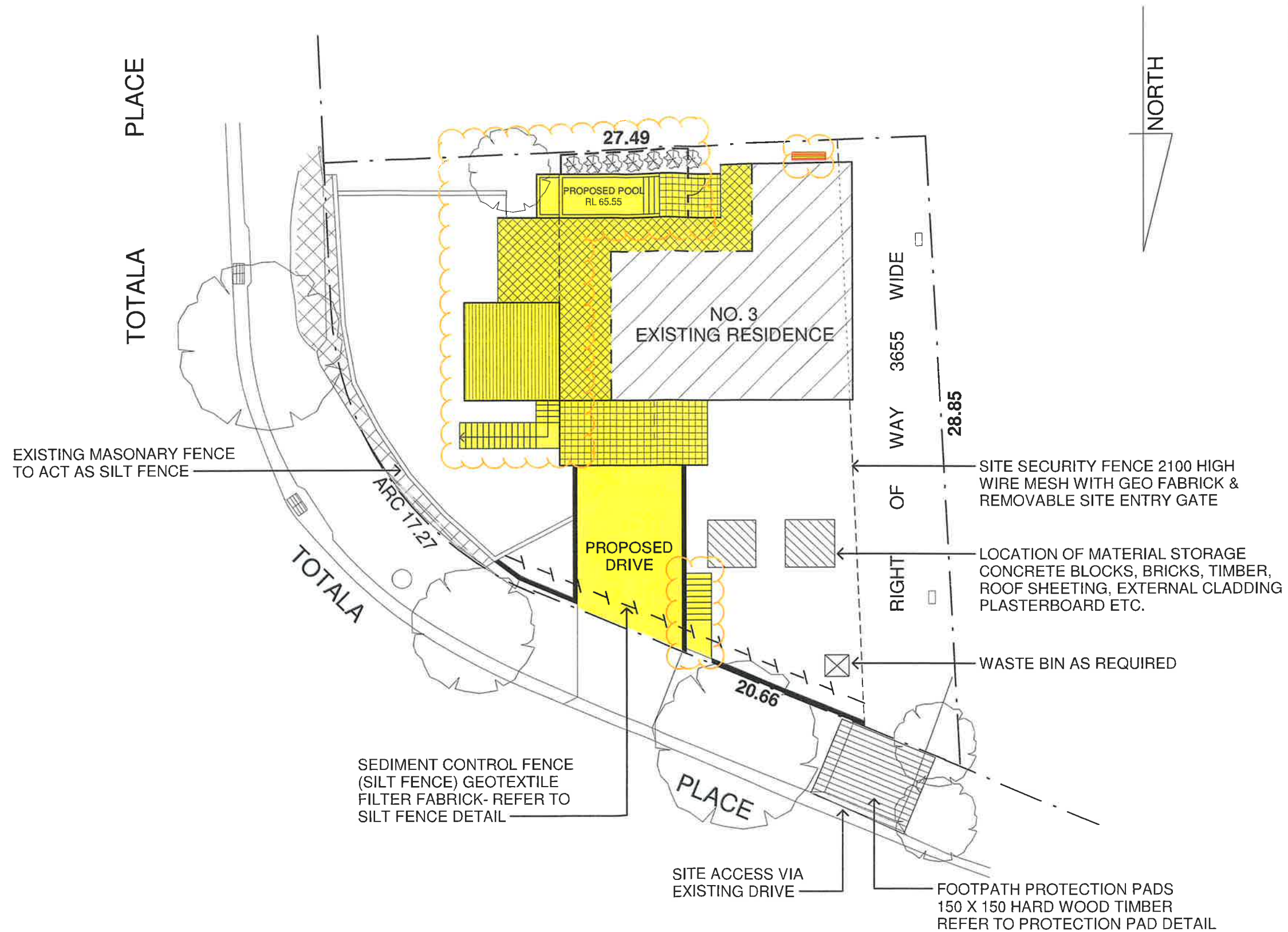
ROOF PLAN
SCALE 1:100

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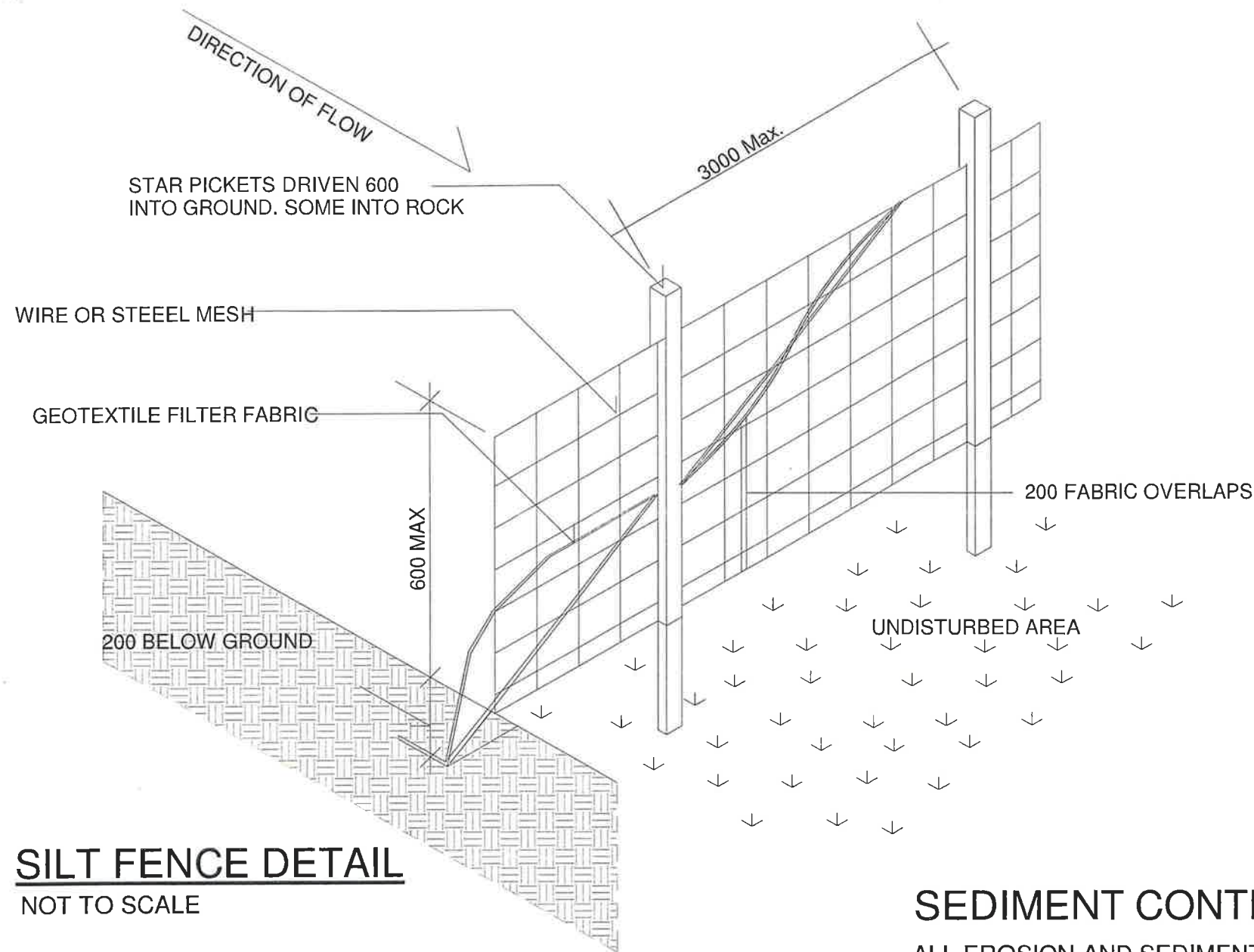




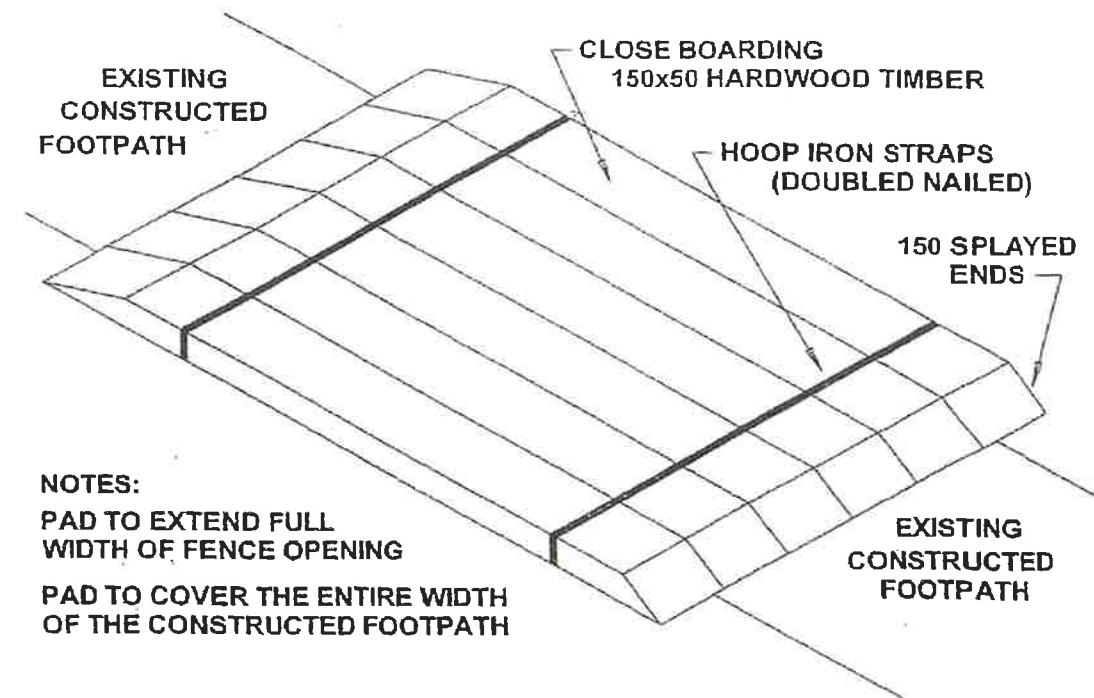
EROSION AND SEDIMENT CONTROL PLAN

SCALE 1:200

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SILT FENCE DETAIL
NOT TO SCALE



FOOTPATH PROTECTION PAD DETAIL
NOT TO SCALE

SEDIMENT CONTROL NOTES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES TO BE INSPECTED AND MAINTAINED BY THE SITE MANAGER OR BUILDER EVERY DAY.
- DISTURBED AREA TO BE KEPT TO A MINIMUM.
- ALL SOIL STOCKPILES TO BE CLEAR OF DRAINS AND COVERED WITH WATERPROOF COVERING.
- DRAINAGE TO BE CONNECTED TO STORMWATER SYSTEM AS SOON AS POSSIBLE.
- ROADS AND FOOTPATHS TO BE SWEEPED AS REQUITRED.
- TRUCKS ENTERING/LEAVING THE SITE TO BE SUPERVISED AT ALL TIMES FOR PUBLIC SAFETY.
- ALL EXCAVATION MATERIAL AND BUILDING MATERIALS WILL BE STORED WITHIN THE SUBJECT SITE AT ALL TIMES AND NOT ON THE COUNCIL FOOTPATH.
- NOISE AND DUST TO BE KEPT TO A MINIMUM DURING THE EXCAVATION WORKS.

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