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REALESTATE

# COMPARATIVE MARKET ANALYSIS

1 SWANEY COURT, STRATHTULLOH, VIC 3338

PREPARED BY CRANE REAL ESTATE, 1/2-8 LAKE ST CAROLINE SPRINGS



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# 1 SWANEY COURT, STRATHTULLOH, VIC 3338



## Owner Details

Owner Name(s): THE PROPRIETORS

Owner Address: N/A

Phone(s):

Owner Type:

Owner Occupied

## Property Details

Property Type: Vacant Land - N/A  
RPD: 9//PS412996 (10596566)

Land Use: RESIDENTIAL RURAL/RURAL LIFESTYLE

Zoning: MELTON CITY

Features:



Area: 2.54 ha

Area \$/m2: \$77,750

Water/Sewerage:

Property ID: 5327836 / VIC52915334

UBD Ref: UBD Ref: 215 H3

## Sales History

Sale Amount: \$ 155,500  
Sale Date: 04/07/2001  
Vendor: THE PROPRIETORS

Area: 2.54 ha

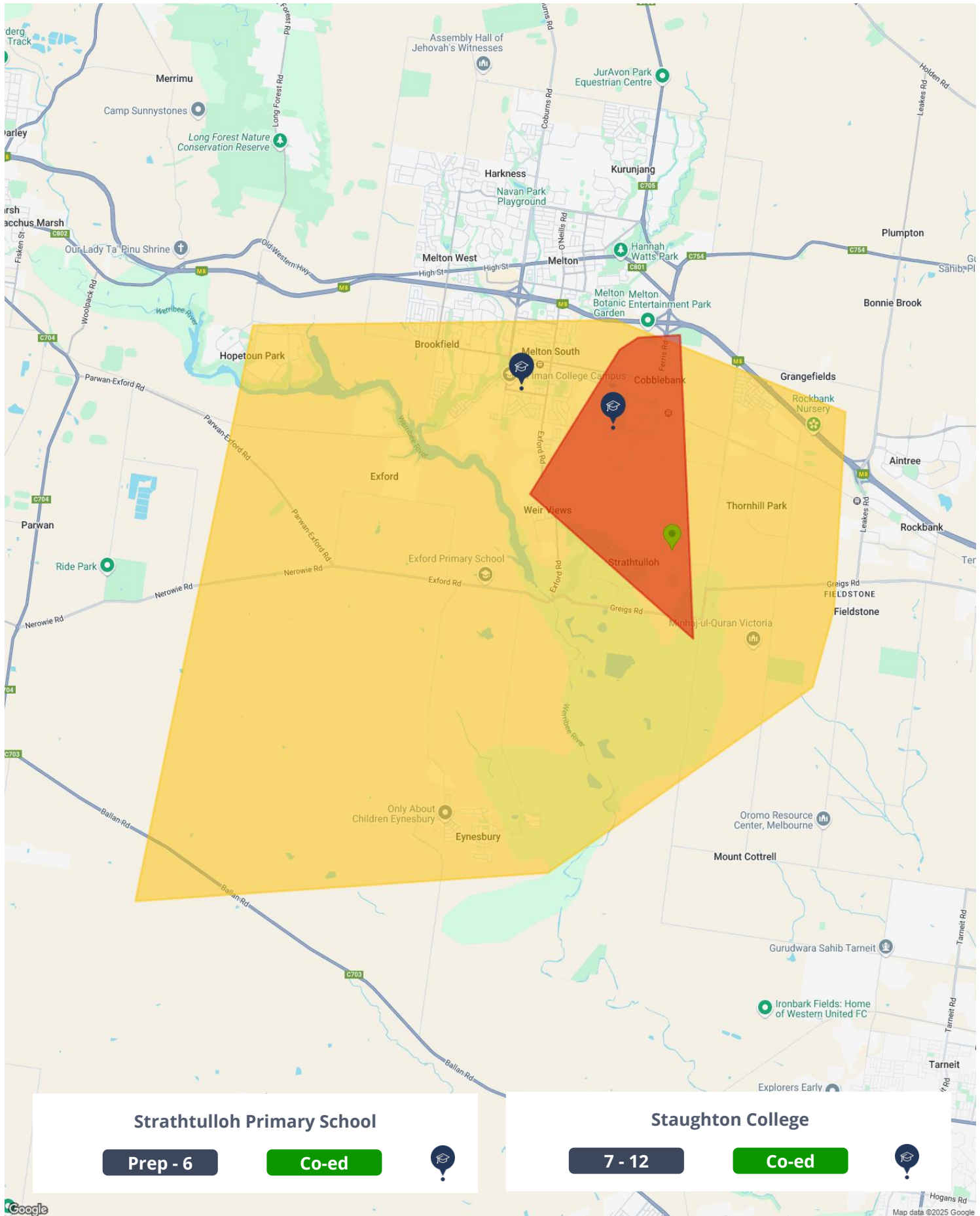
Sale Type: Normal Sale

Related: No



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## School Catchment Areas

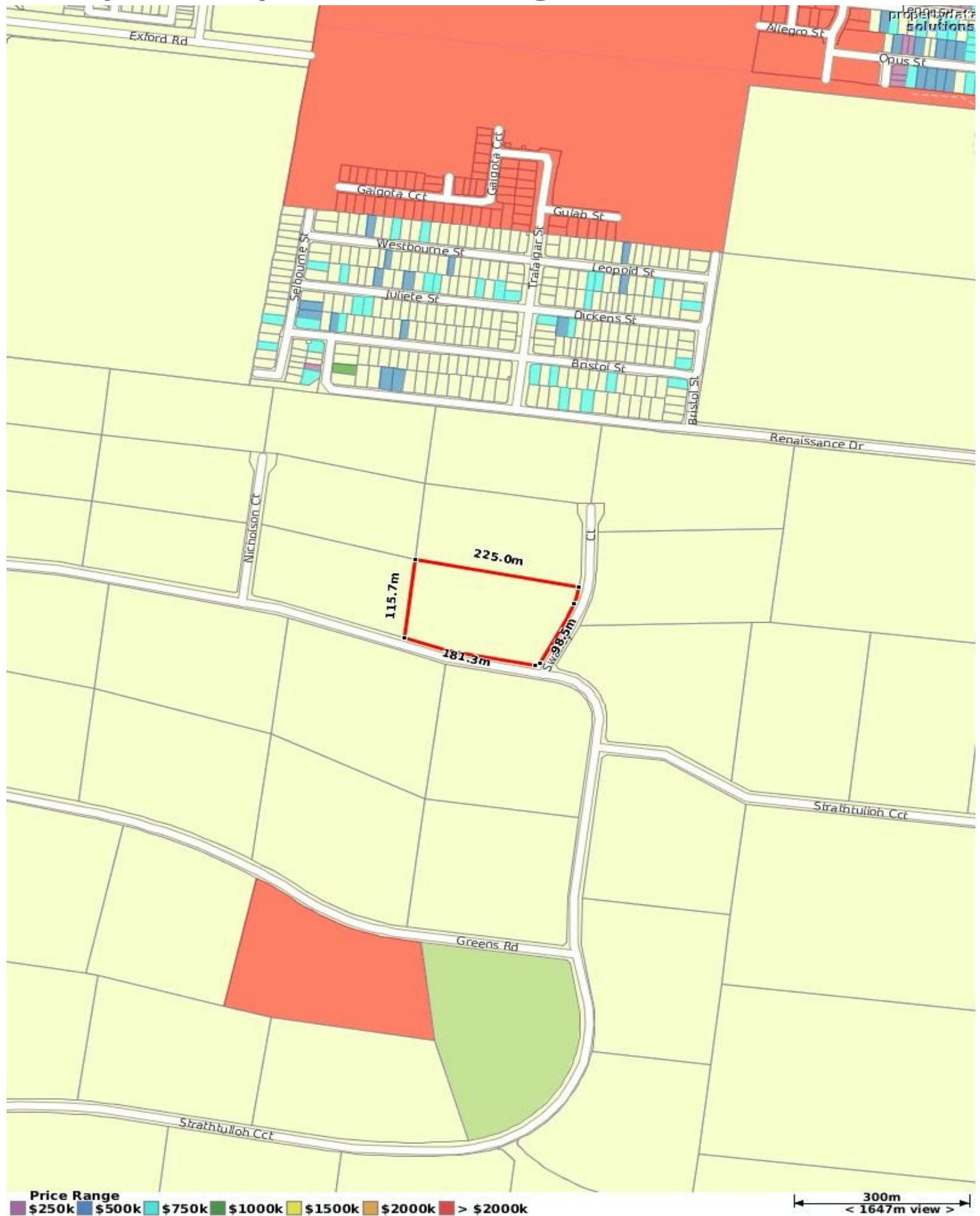






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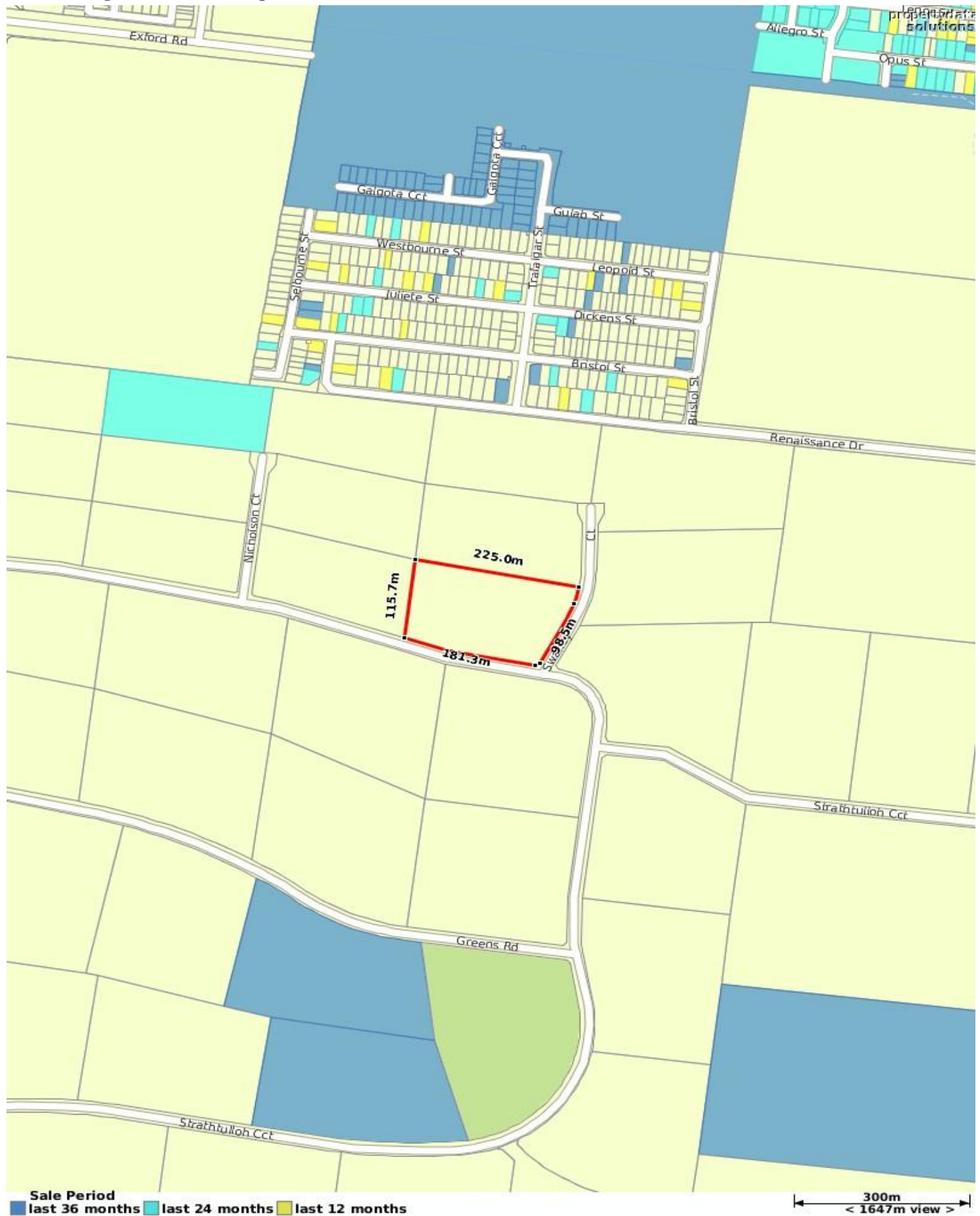
## Nearby Sold Properties (Price Range)





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## Nearby Sold Properties (Sale Date)





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## Nearby Properties For Sale

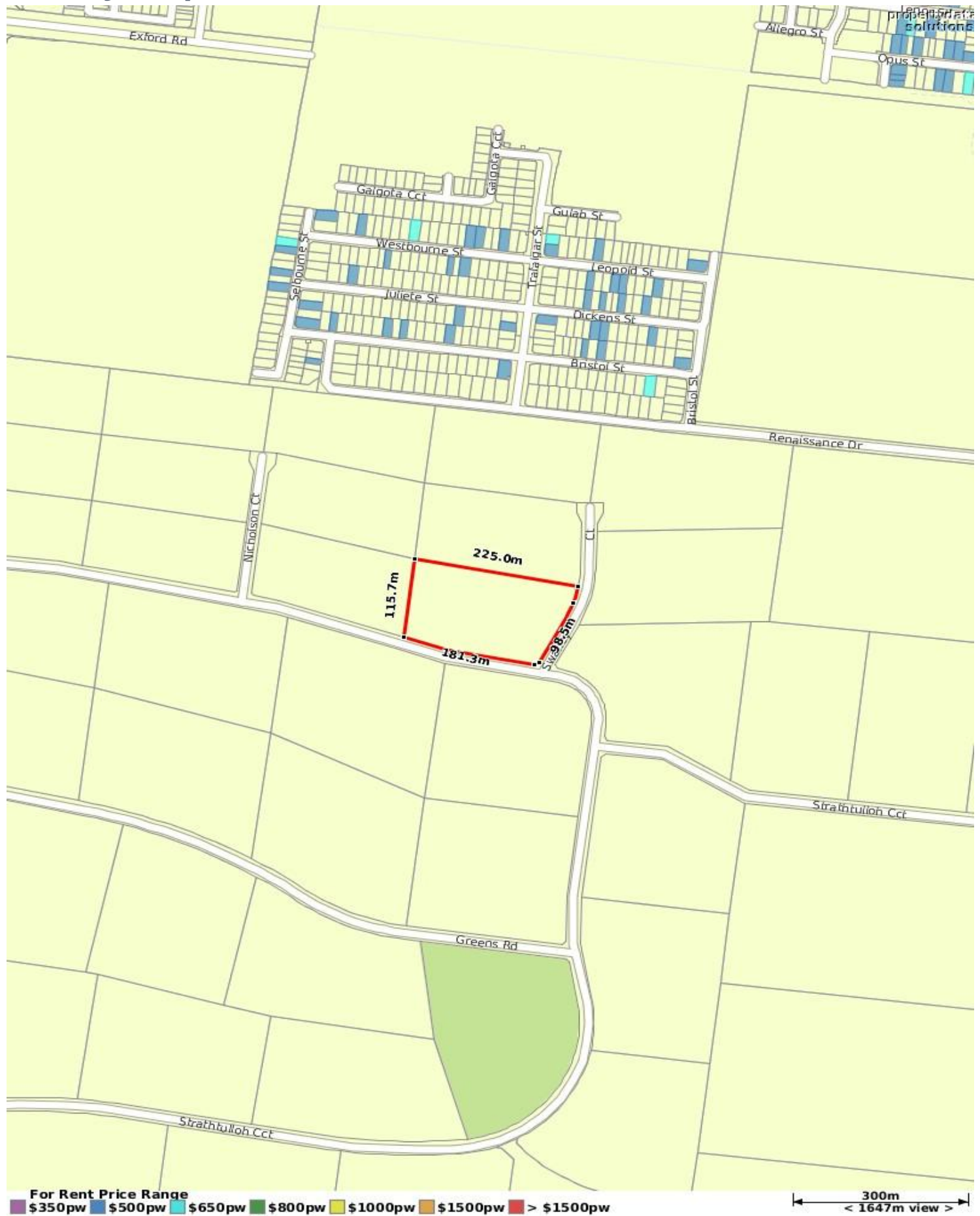






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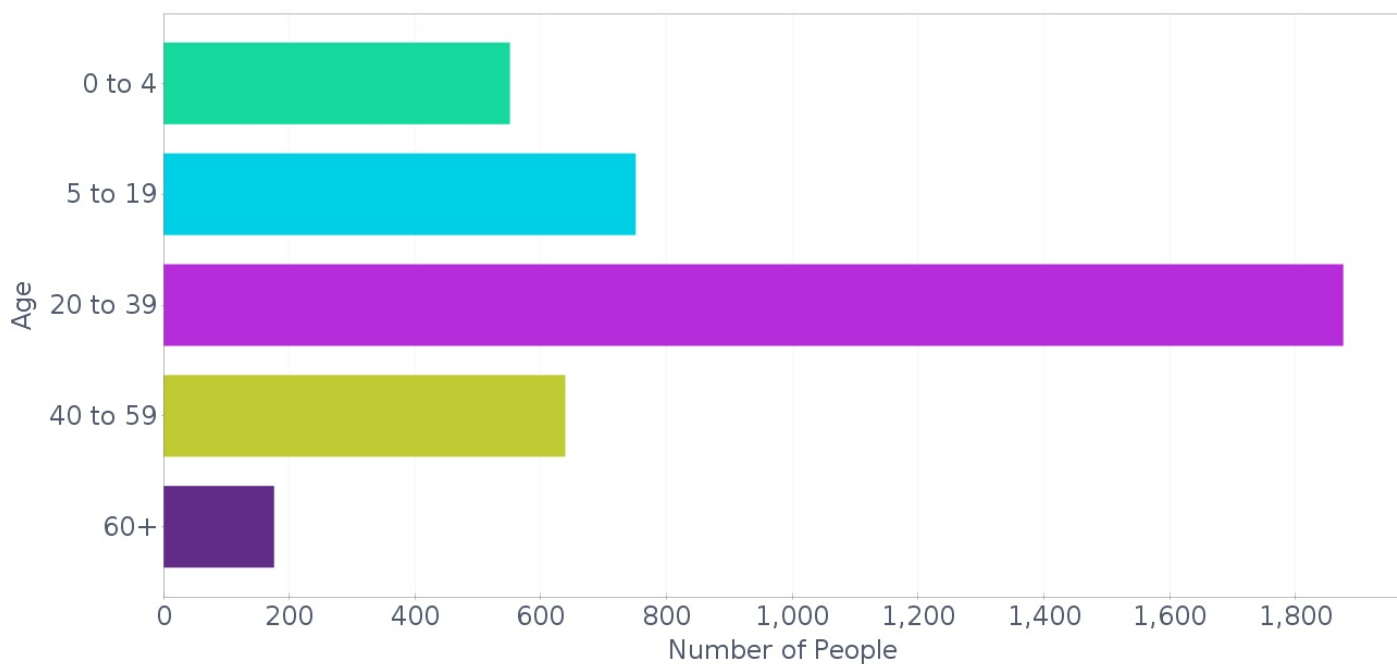
## Nearby Properties For Rent



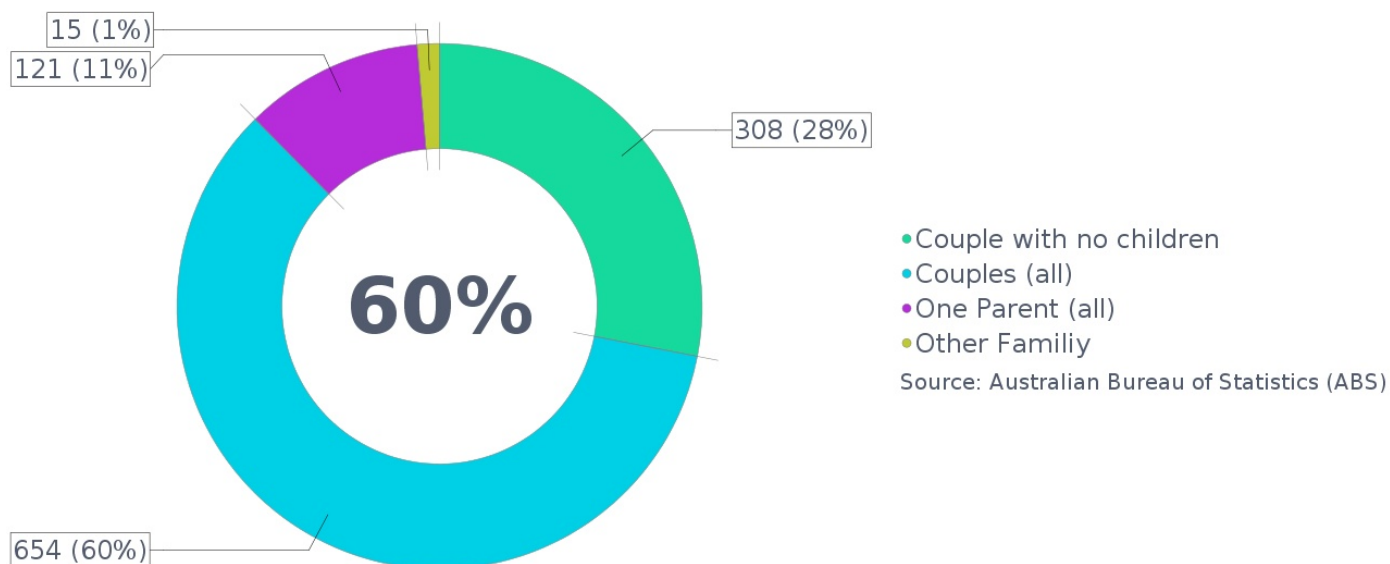


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## Age of Population (2021)



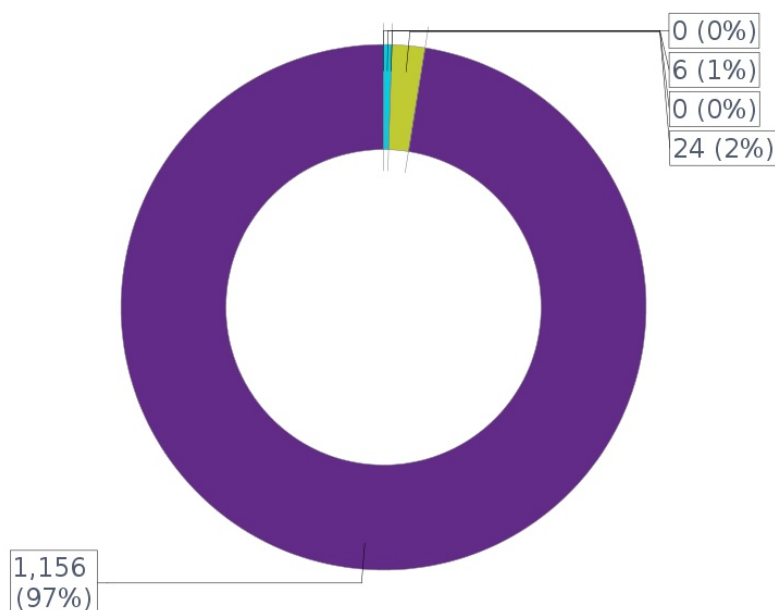
## Family Composition (2021)







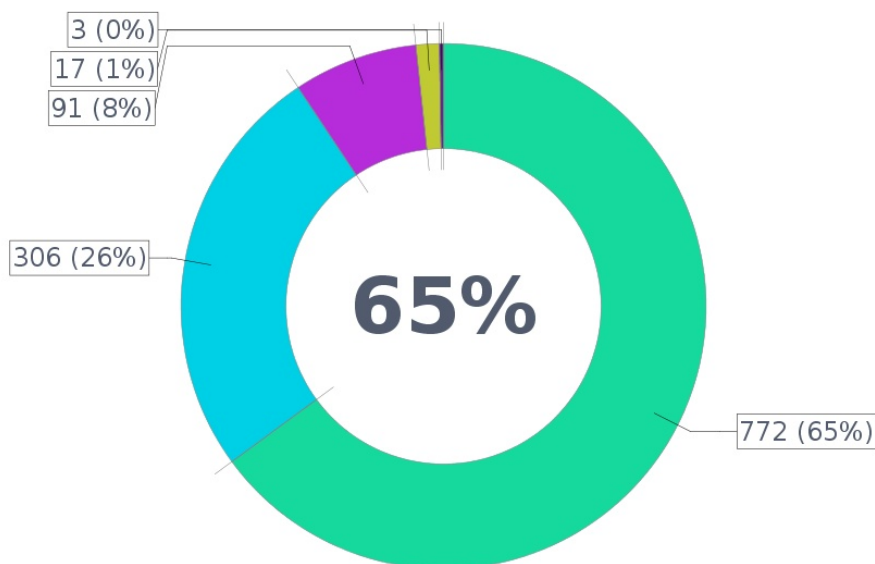
## Dwelling Structure (2021)



- Flat
- Not Stated
- Other
- Semi/Terrace
- Separate House

Source: Australian Bureau of Statistics (ABS)

## Home Ownership (2021)

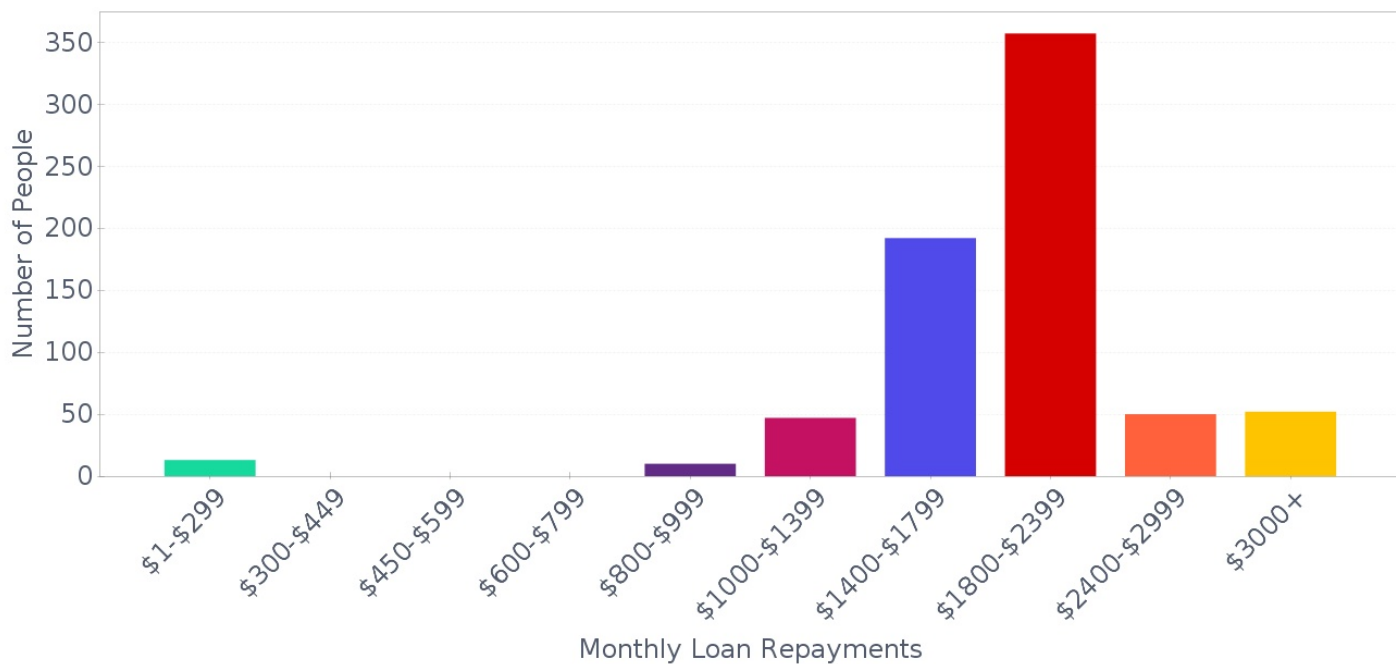


- Purchasing
- Rented
- Fully Owned
- Not Stated
- Other tenure type

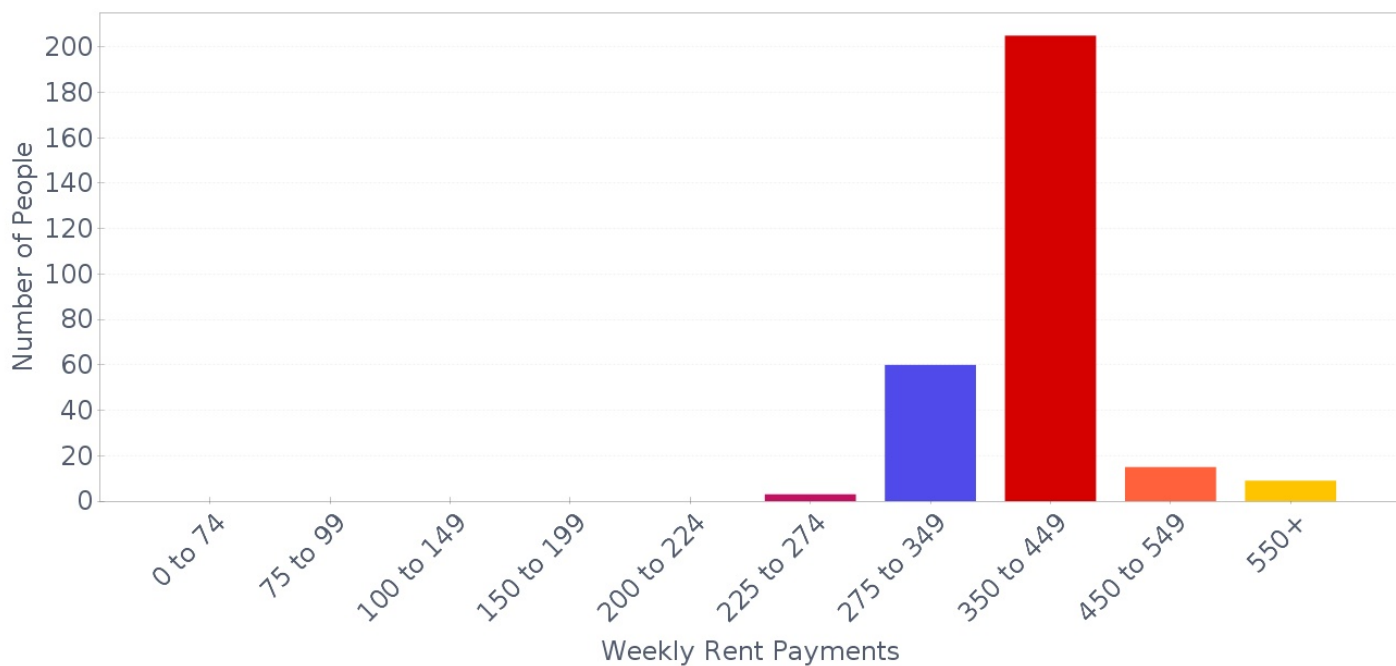
Source: Australian Bureau of Statistics (ABS)



## Home Loan Repayments - Monthly (2021)



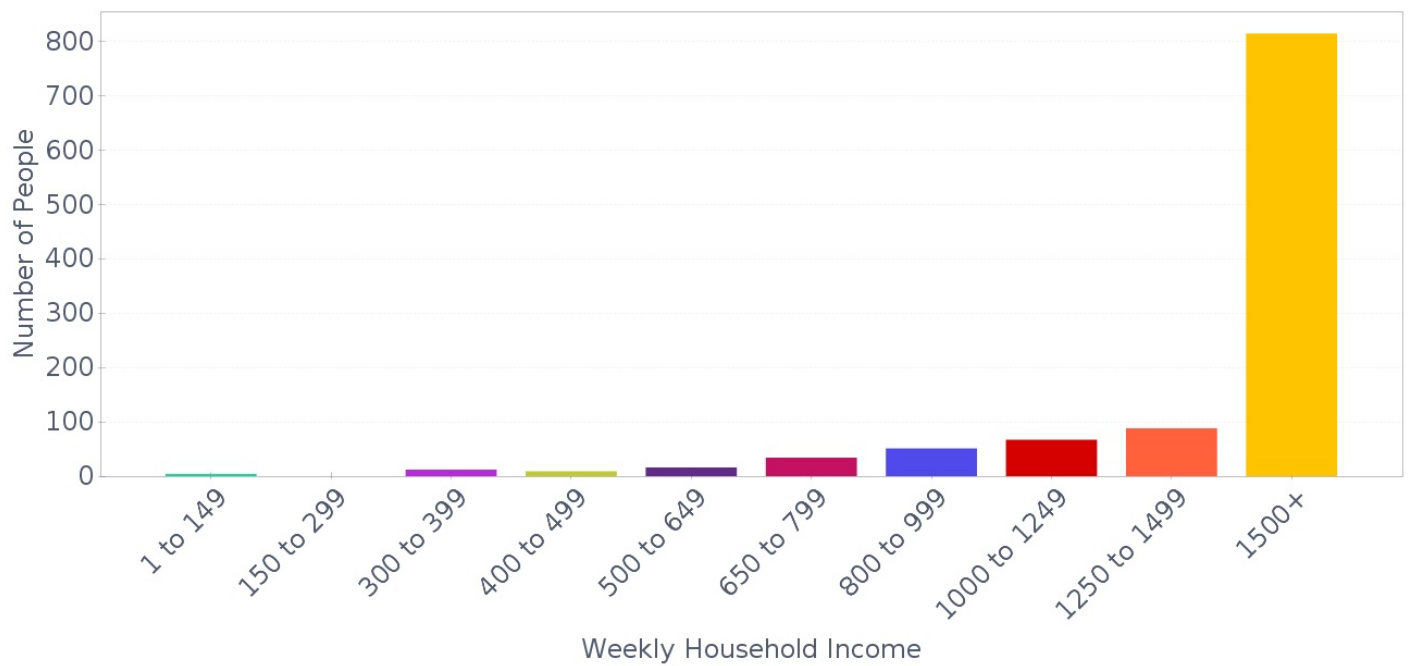
## Rent Payments - Weekly (2021)





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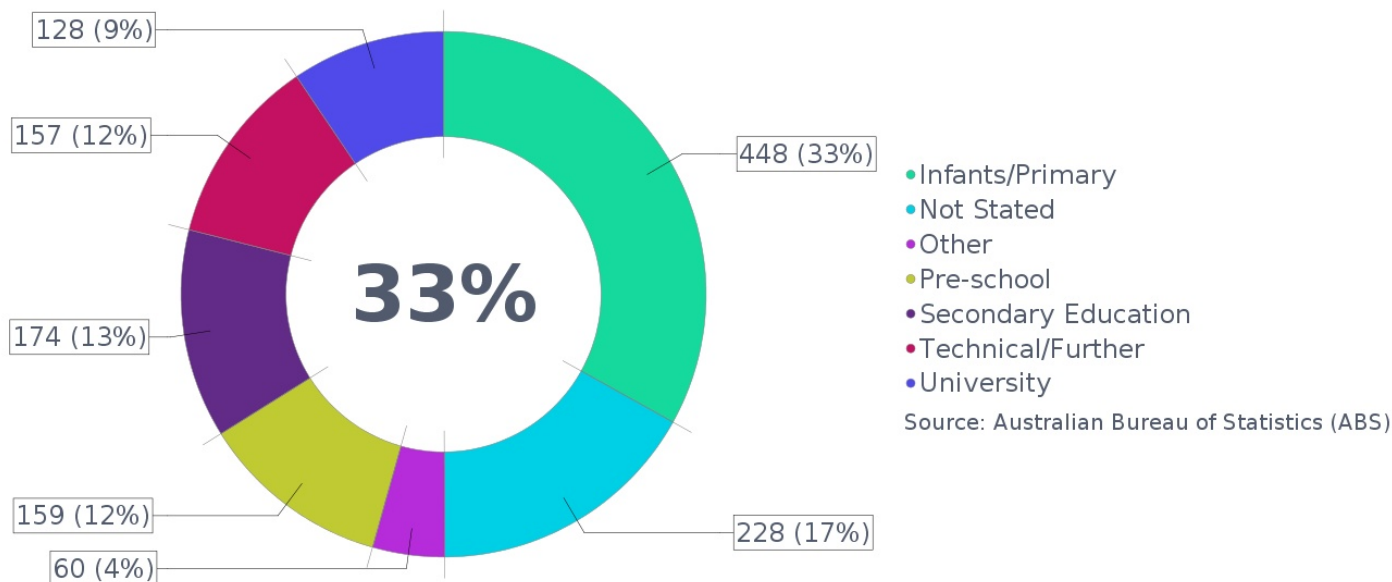
## Household Income - Weekly (2021)



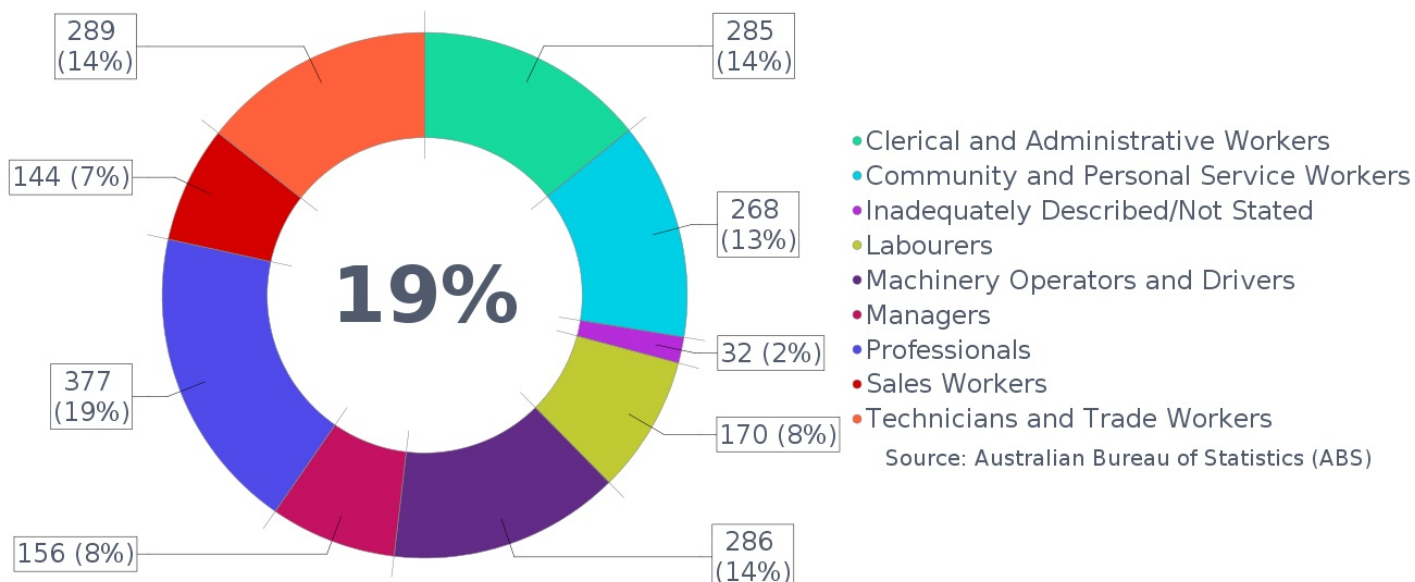




## Non-School Qualification: Level of Education (2021)

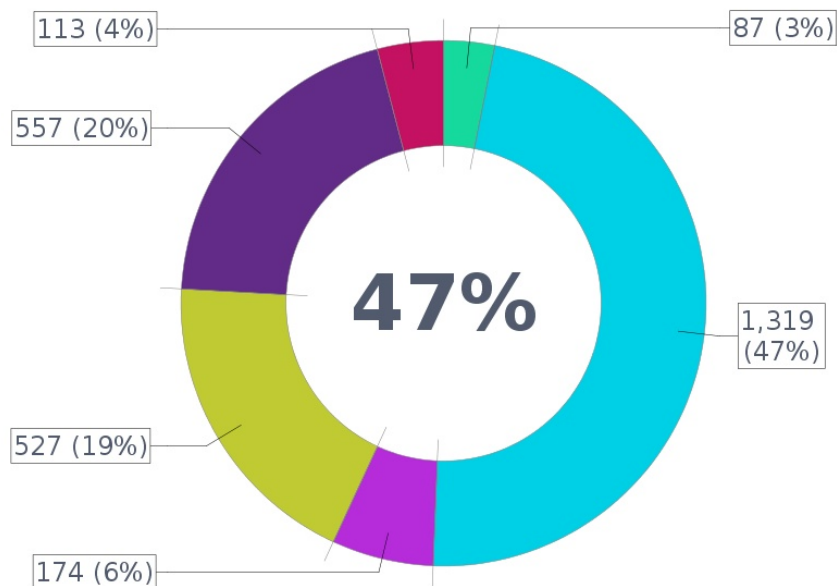


## Occupation (2021)





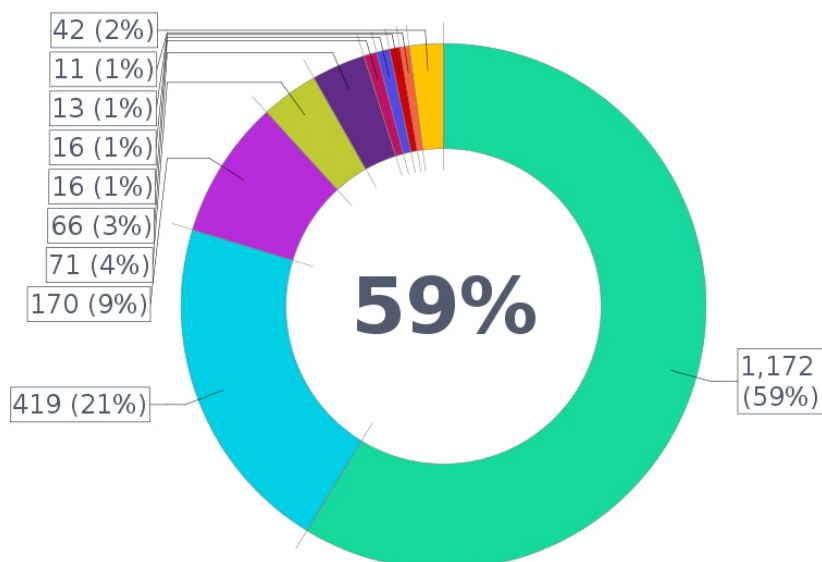
## Employment (2021)



- Employed: away from work
- Full-Time
- Labour force status not stated
- Not in the labour force
- Part-Time
- Unemployed

Source: Australian Bureau of Statistics (ABS)

## Method of Travel to Work (2021)



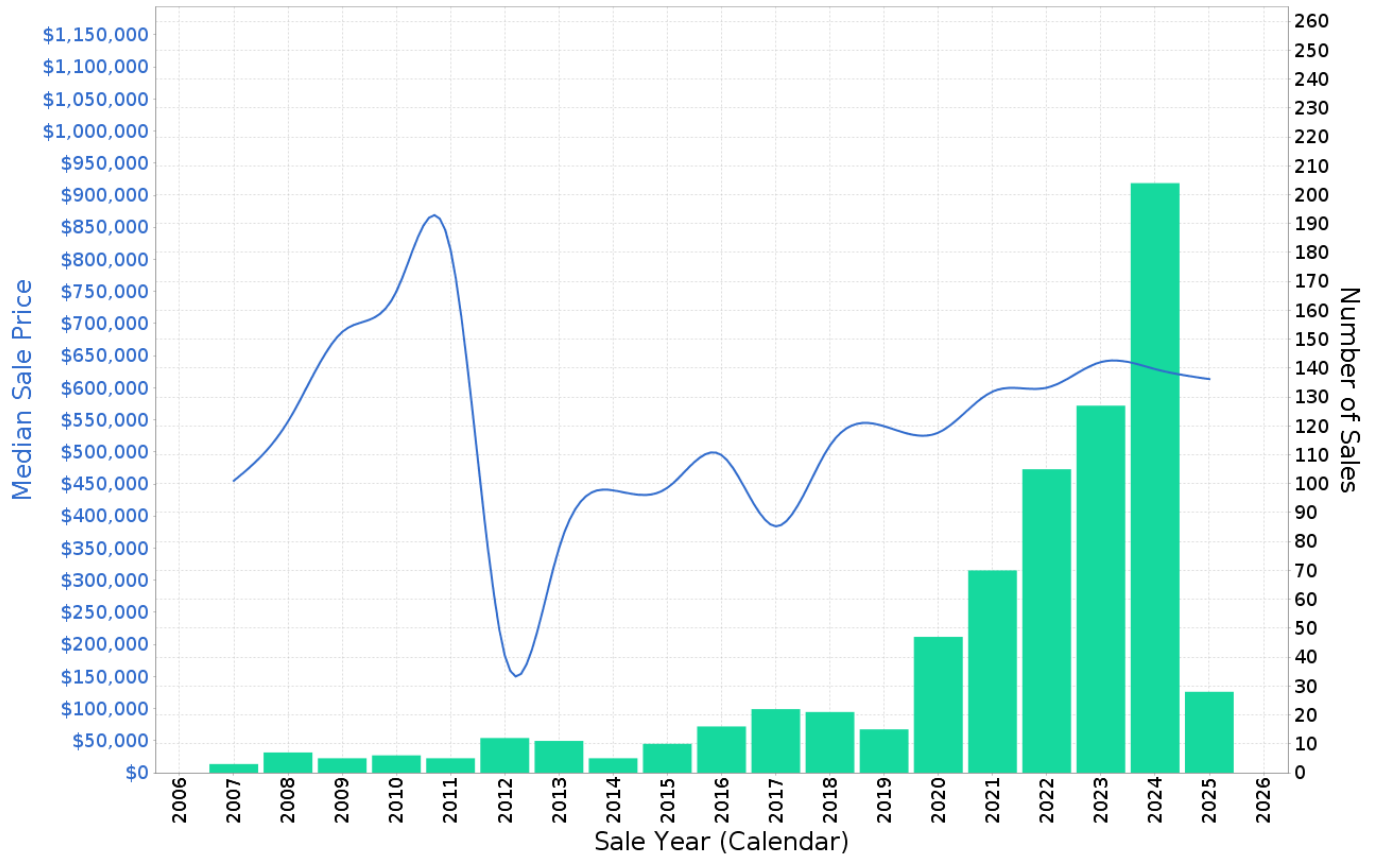
- Car (driver)
- Worked at home
- Did not go to work
- Car (Pas.)
- Train
- Other two
- Truck
- Walked only
- Other
- Other Categories

Source: Australian Bureau of Statistics (ABS)



## Sales & Growth Chart (House)

Year	No. of Sales	Average	Median	Growth	Low	High
2007	3	\$ 521,000	\$ 455,000		\$ 408,000	\$ 700,000
2008	7	\$ 598,071	\$ 547,500	20.3 %	\$ 355,000	\$ 1,150,000
2009	5	\$ 639,400	\$ 687,000	25.5 %	\$ 380,000	\$ 900,000
2010	6	\$ 731,667	\$ 750,000	9.2 %	\$ 440,000	\$ 950,000
2011	5	\$ 794,400	\$ 815,000	8.7 %	\$ 682,000	\$ 900,000
2012	12	\$ 238,500	\$ 182,500	-77.6 %	\$ 158,000	\$ 900,000
2013	11	\$ 481,345	\$ 349,900	91.7 %	\$ 123,000	\$ 1,300,000
2014	5	\$ 417,780	\$ 440,000	25.8 %	\$ 329,900	\$ 479,000
2015	10	\$ 612,100	\$ 444,000	0.9 %	\$ 184,000	\$ 1,520,000
2016	16	\$ 803,469	\$ 495,000	11.5 %	\$ 147,500	\$ 2,825,000
2017	22	\$ 917,545	\$ 384,000	-22.4 %	\$ 175,500	\$ 10,500,000
2018	21	\$ 702,875	\$ 510,000	32.8 %	\$ 278,000	\$ 2,200,000
2019	15	\$ 880,097	\$ 540,000	5.9 %	\$ 211,000	\$ 3,240,000
2020	47	\$ 739,176	\$ 530,000	-1.9 %	\$ 286,000	\$ 9,250,000
2021	70	\$ 818,956	\$ 594,000	12.1 %	\$ 277,000	\$ 4,250,000
2022	105	\$ 604,715	\$ 600,000	1.0 %	\$ 388,900	\$ 2,700,000
2023	127	\$ 674,881	\$ 640,000	6.7 %	\$ 350,000	\$ 3,581,000
2024	204	\$ 630,495	\$ 629,000	-1.7 %	\$ 250,000	\$ 1,000,000
2025	28	\$ 597,211	\$ 613,500	-2.5 %	\$ 183,900	\$ 760,000

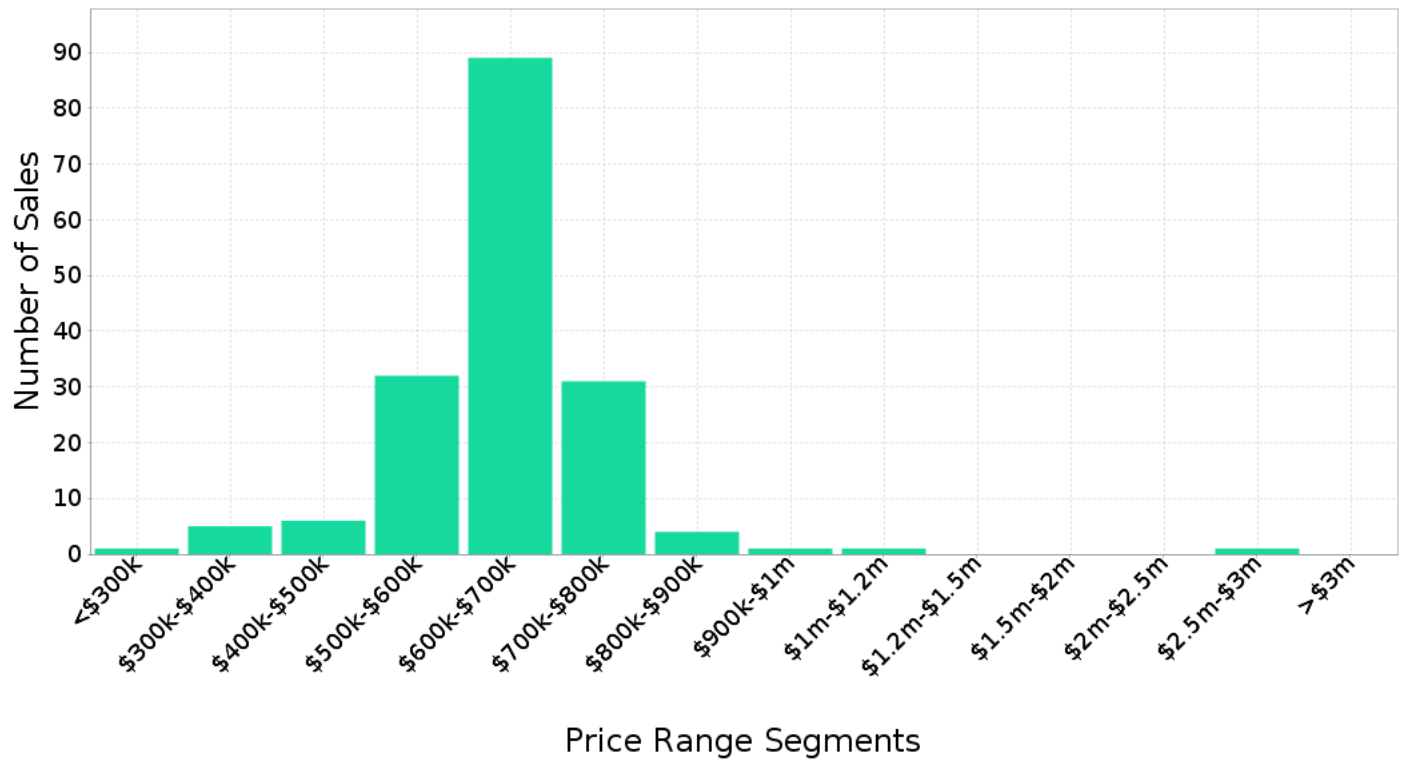




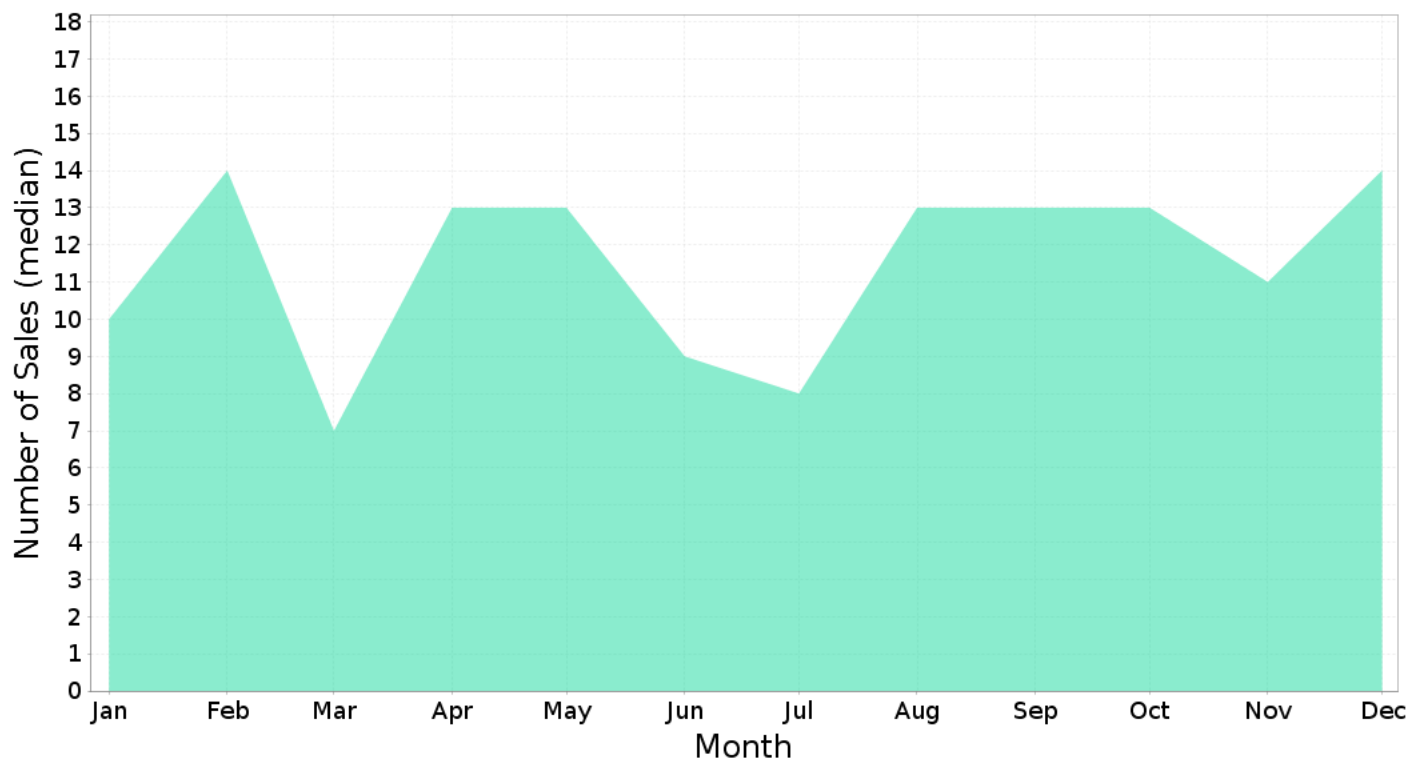


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## Price Segmentation



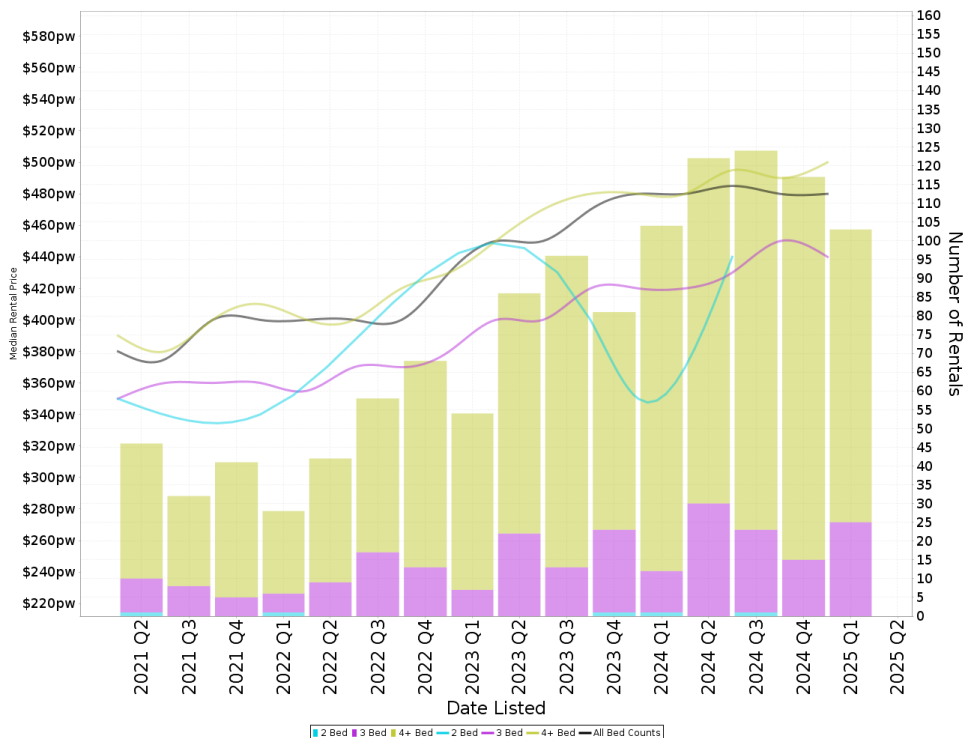
## Peak Selling Periods





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## Median Weekly Rents (Houses)



### Suburb Sale Price Growth

**-2.8%**

Current Median Price: \$627,000  
Previous Median Price: \$645,000

Based on 336 registered House sales compared over the last two rolling 12 month periods.

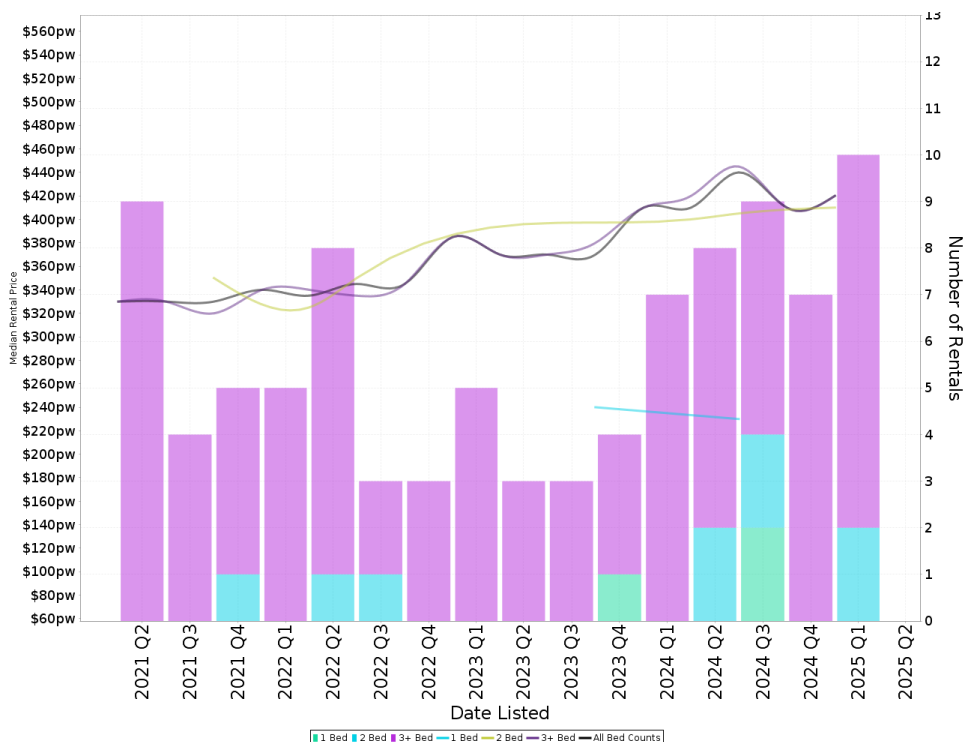
### Suburb Rental Yield

**+4.0%**

Current Median Price: \$627,000  
Current Median Rent: \$480

Based on 466 registered House rentals compared over the last 12 months.

## Median Weekly Rents (Units)



### Suburb Sale Price Growth

**+0.6%**

Current Median Price: \$420,000  
Previous Median Price: \$417,500

Based on 7 registered Unit sales compared over the last two rolling 12 month periods.

### Suburb Rental Yield

**+5.2%**

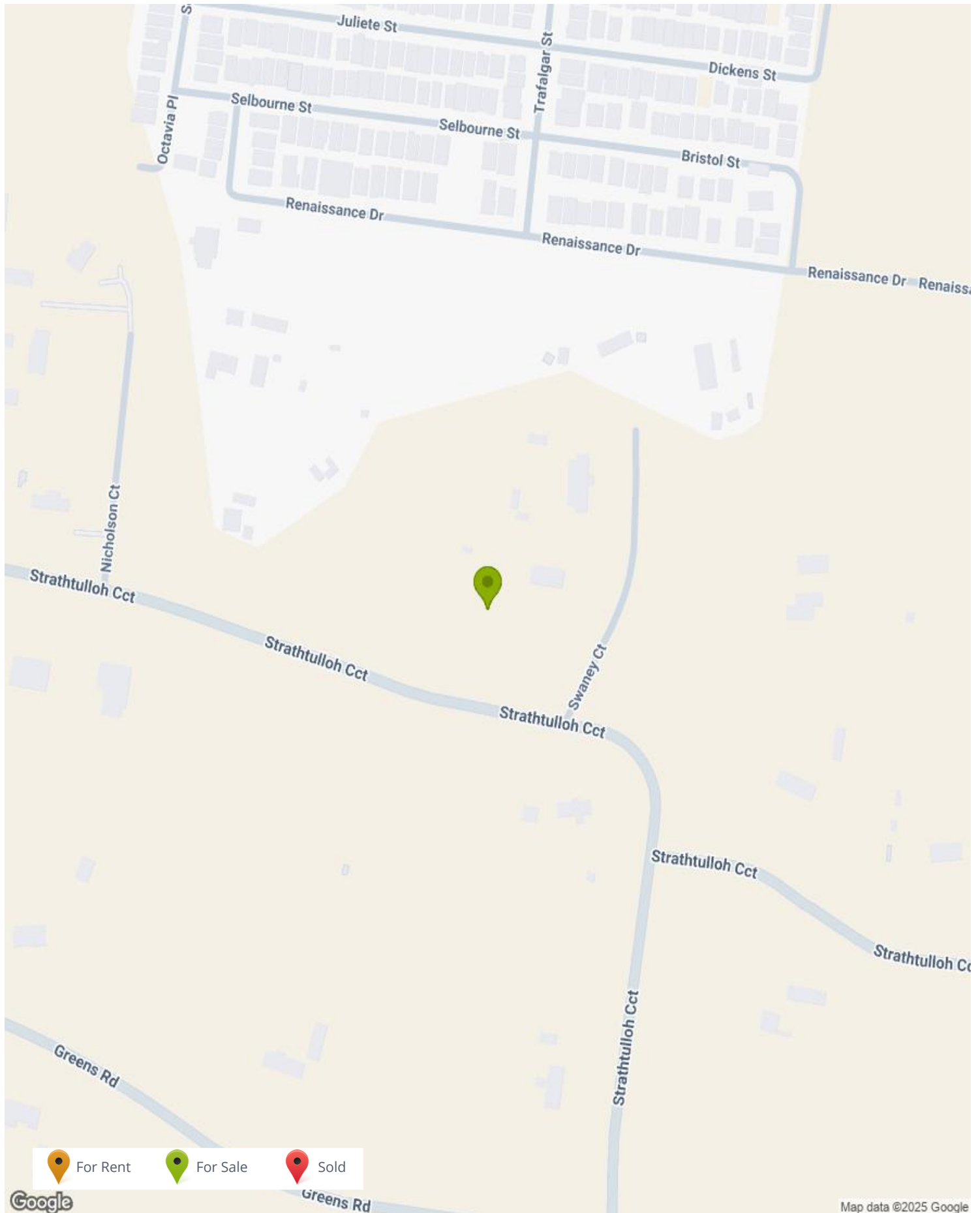
Current Median Price: \$420,000  
Current Median Rent: \$420

Based on 34 registered Unit rentals compared over the last 12 months.



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## Comparable Properties Map







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## 1 SWANEY COURT, STRATHTULLOH, VIC 3338



### Appraisal Price

This market analysis has been prepared on 25/04/2025 and all information given has been based on a current market analysis for the property listed above. Based on this, we believe this property to be estimated in the following range:

**\$2,100,000 to \$2,300,000**

### Contact your agent for further information:

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Email: [info@cranerealestate.com.au](mailto:info@cranerealestate.com.au)