

NEW DWELLING

AT  
ARALUEN TCE  
TULLIMBAR  
LOT 112 in DP 1261585

REF  
230201  
FOR  
McKENZIE

SHEET LIST

SHEET	NAME	REV	STATUS / ISSUE	DATE
A01	COVER SHEET & PROJECT NOTES	D	REVISIONS 4	21.03.2023
A02	SITE PLAN / SITE ANALYSIS	D	REVISIONS 4	21.03.2023
A03	SITE PHOTOGRAPHS	D	REVISIONS 4	21.03.2023
A04	PROPOSED GROUND FLOOR	D	REVISIONS 4	21.03.2023
A05	PROPOSED UPPER FLOOR	D	REVISIONS 4	21.03.2023
A06	ELEVATIONS 1	D	REVISIONS 4	21.03.2023
A07	ELEVATIONS 2	D	REVISIONS 4	21.03.2023
A08	SECTIONS 1	D	REVISIONS 4	21.03.2023
A09	SECTIONS 2	D	REVISIONS 4	21.03.2023
A10	3D VIEWS & MATERIAL SCHEDULE	D	REVISIONS 4	21.03.2023
A11	INTERIOR 3D VIEWS	D	REVISIONS 4	21.03.2023
A12	AREA SCHEDULE	D	REVISIONS 4	21.03.2023
A13	SHADOW DIAGRAM	D	REVISIONS 4	21.03.2023
A14	LANDSCAPE CONCEPT PLAN	D	REVISIONS 4	21.03.2023



D

WINDOW SCHEDULE

No.	Height	Width	Area	Style	Frame	Glazing	Comments
1	1200	2410	2.89 m²	Awning	Std. alum.	Single clear	
2	600	610	0.37 m²	Sliding	Std. alum.	Single clear	Obscure glass
3	1200	1810	2.17 m²	Sliding	Std. alum.	Single clear	
4	1200	2410	2.89 m²	Sliding	Std. alum.	Single clear	
5	600	2410	1.45 m²	Sliding		Single clear	
6	1200	1810	2.17 m²	Awning	Std. alum.	Single clear	
7	600	1810	1.09 m²	Sliding	Std. alum.	Single clear	
8	600	610	0.37 m²	Sliding	Std. alum.	Single clear	Obscure glass
9	600	1810	1.09 m²	Sliding	Std. alum.	Single clear	
10	935	610	0.57 m²	Sliding	Std. alum.	Single clear	
11	935	610	0.57 m²	Sliding	Std. alum.	Single clear	Obscure glass
12	600	1810	1.09 m²	Sliding	Std. alum.	Single clear	
13	550	980	0.54 m²	Skylight	To comply with BASIX rqm		

NOTE:

Window / glazed doors sizes are to be verified on site prior to fabrication. All glazing is to comply with BCA requirements for opening distances, locks, sill/transom heights, climable elements and all other relevant requirements. Confirm all window styles & features with client prior to fabrication.

GLAZED DOOR SCHEDULE

No.	Height	Width	Area	Style	Frame	Glazing	Comments
1	2100	920	1.93 m²	Swing	Std. alum.	Single clear	
2	2100	3610	7.58 m²	Sliding	Std. alum.	Single clear	
3	2100	3610	7.58 m²	Sliding	Std. alum.	Single clear	

BASIX COMMITMENTS

Refer also to BASIX & NatHERS certificates

WATER

Rain water tank	2000L - Connect to at least 1 x outdoor tap & all toilets
Roof collection	100 sqm minimum
Shower heads	4 star >4.5 but <=6 L/min
Toilets	4 star
Taps	4 star

ENERGY

Hot water unit	5 star instantaneous gas
Cooktop / Oven	Gas cooktop / Electric oven
Cooling system	1-Phase AC to living & bedrooms
Heating system	EER >4.0
Artificial lighting	1-Phase AC to living & bedrooms
	EER >4.0
Ventilation	Primary fluorescent or LED type. Dedicated LED fixtures. Fans to bathrooms & kitchen Ducted to facade or roof Manual on/off switch
Other	Well ventilated fridge space Install outdoor clothes line

THERMAL COMFORT

Construction

Concrete slab on ground	nil
Suspended floor/enclosed subfloor	0.60 (down)
Floor above habitable rooms or mezzanine	nil
Suspended floor over garage	nil
External wall - framed	2.00
External wall - brick veneer	1.86
Internal wall shared with garage	nil
Raked ceiling/Pitched or Skillion roof (>10°)	ceiling: 4 (up)roof: foil backed blanket (55 mm)
Flat or low-pitch ceiling and roof (≤10°)	ceiling: 4 (up), roof: foil backed blanket (55 mm)

Additional insulation required (R-value)

ceiling: 4 (up)roof: foil backed blanket (55 mm)
ceiling: 4 (up), roof: foil backed blanket (55 mm)

GENERAL & CONSTRUCTION NOTES - READ BEFORE STARTING WORK

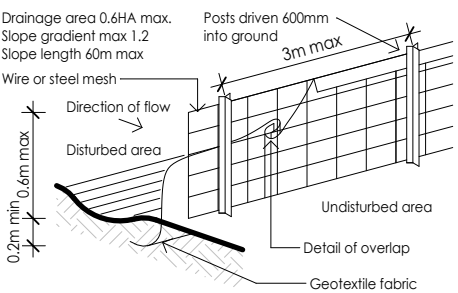
- These plans are to be read in conjunction with all relevant consultant & statutory plans, specifications & relevant approvals.
- Any work that is not specified on plans or specifications but is obviously required is understood to be included.
- These plans are subject to copyright and may not be reproduced in whole or in part without permission from the author.
- All dimensions are in millimeters unless stated otherwise. Use figured dimensions only, do not scale off these plans.
- Builder is to site check & verify all dimensions & building conditions on site prior to any construction taking place.
- Builder to verify & resolve all discrepancies with the appropriate designer or consultant prior to construction taking place.
- Window sizes are to be verified on site prior to fabrication.
- Upper floor windows to comply with BCA requirements for opening distances, locks, heights and climable elements.
- All steelwork to be hot dip galvanised or as spec. by engineer.
- Expansion joints in brickwork to engineering details.
- Provide falls for adequate drainage to outlets as required.
- Ensure that adequate waterproofing is applied to roof junctions, wall junctions & other areas subject to potential water penetration.
- Builder to refer to all manufacturers literature and installation requirements & ensure full compliance.
- Confirm all materials, finishes, claddings, building features, windows, paint applications & colours with client prior to work commencing.
- Exposed timber selected to be suitable for outdoor exposure.
- All mortar and brickwork to be salt resistant.
- Ensure full compliance with BASIX / NatHERS rqm. & DA conditions.
- Builder to ensure all necessary documents are obtained prior to construction and that all documents are the current version.

BCA & AUSTRALIAN STANDARDS

All work is to be in full compliance with current relevant NCC & Australian Standards requirements, including but not limited to:

Timber wall, floor & deck framing	AS 1684, AS 1720
Timber truss installation	AS 4440
Concrete slabs & footings	AS 2870, AS 3600
Structural steel	AS 4100
Roof tiles	AS 2049, AS 2050
Metal roofing	AS 1562.1
Masonry	AS 4773.1
Blockwork	AS 3700
Interior waterproofing	AS 4730
Waterproofing of decks & balconies	AS 4654
Damp proof courses & flashings	AS 2904
Windows	AS 2047
Glazing including glass balustrades	AS 1288
Balustrades & handrails	AS 1657
Stairs	AS/NZS 1170.1
Termite protection	AS 3360.1
Fire protection / smoke detectors	AS 1603.2, AS 1670.1, AS 3786
Painting	AS 2311
Protective steel coatings	AS 2312
Bushfire construction requirements	AS 3959
Pool fences & gates	AS 1926.1
Domestic oil fired appliances	AS 1691
Solid fuel burning appliances	AS 2918
Bushfire affected properties	AS 3959
Parking facilities / garages	AS2890.1

TYPICAL SEDIMENT FENCE DETAIL



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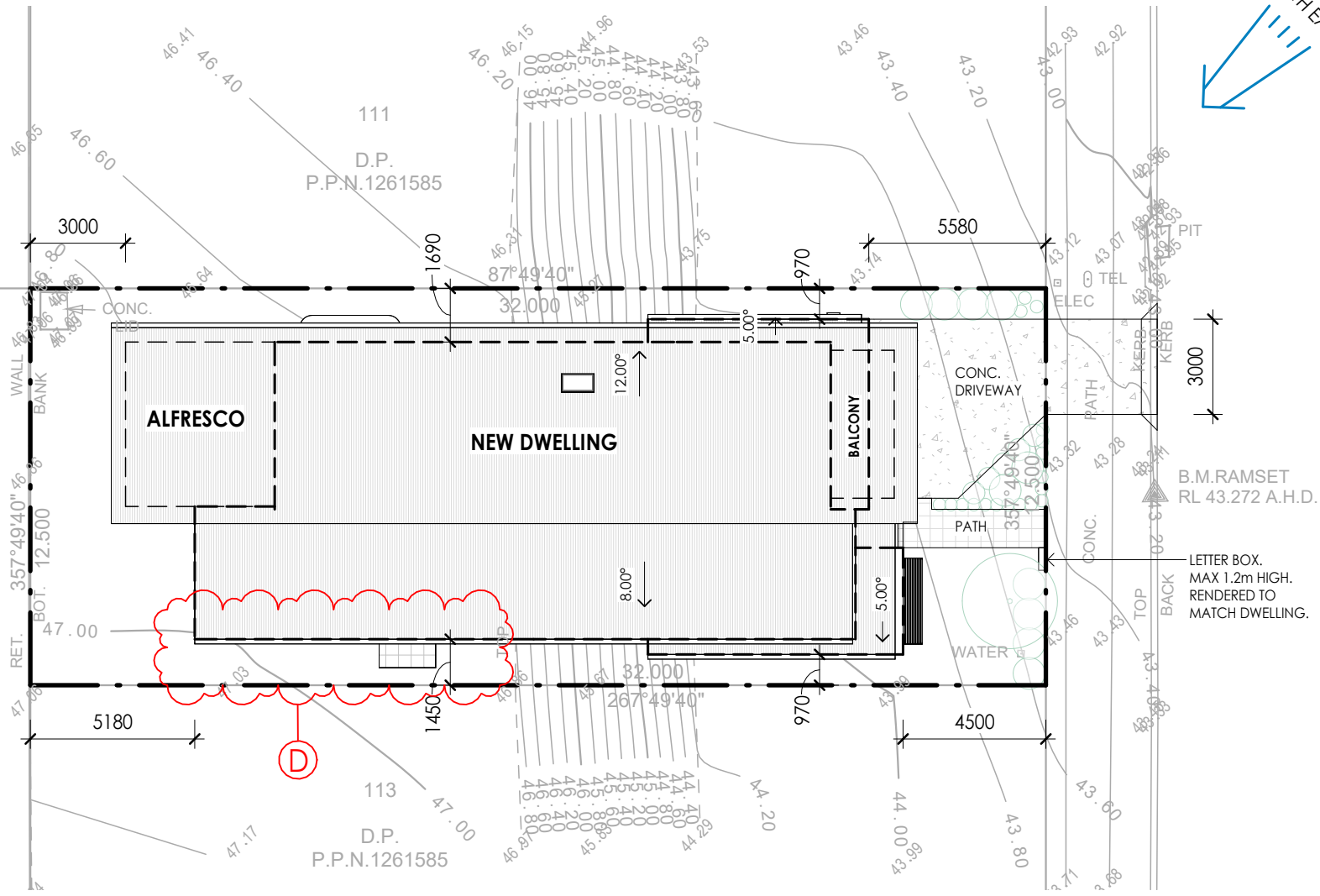
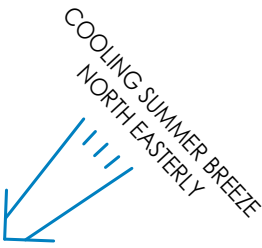
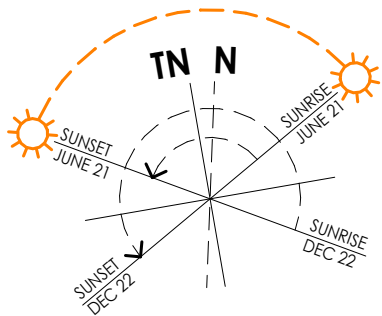


PERFORM UNDERGROUND SERVICE CHECK  
PRIOR TO ANY EXCAVATION TAKING PLACE



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Sheet	Rev
A01	D
Dwg	
COVER SHEET & PROJECT NOTES	
Scale	
1 : 1 @A3	



- LEGEND**
- SF SF SEDIMENT FENCE
  - SW SW APPROX. SEWER LINE & ZONE OF INFLUENCE
  - DEMOLISHED / REMOVED
  - EXISTING BUILDING
  - NEW WORK FOOTPRINT
  - NEW COVERED AREA
  - BEHIND / HIDDEN
  - COMPLIANCE NOTATION
  - LANDSCAPING / PLANTING

**BUILDING RL SCHEDULE**

Floor level	RL
GAR FL	43.995
GF FL	44.080
GF CL	46.830
UF FL	47.160
UF CL	49.610
RIDGE RL	51.133

**SITE DATA CALCULATIONS**

TOTAL SITE AREA 400.00 m<sup>2</sup>

**SITE COVERAGE**

SITE COVERAGE	197.42 m <sup>2</sup>	49.35%
REMAINING SITE	202.58 m <sup>2</sup>	50.65%
TOTAL SITE AREA	400.00 m <sup>2</sup>	

**LANDSCAPED AREA**

FWD OF BLD LINE	19.49 m <sup>2</sup>	20.13%
BEHIND BLD LINE	77.33 m <sup>2</sup>	79.87%
TOTAL	96.82 m <sup>2</sup>	

**GROSS FLOOR AREA**

GROUND FLOOR GFA	51.50 m <sup>2</sup>
UPPER FLOOR GFA	172.38 m <sup>2</sup>
TOTAL	223.89 m <sup>2</sup>

**HABITABLE AREAS**

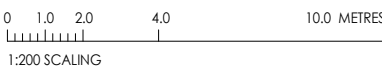
NEW GROUND FLOOR	30.90 m <sup>2</sup>
NEW UPPER FLOOR	172.38 m <sup>2</sup>
TOTAL	203.28 m <sup>2</sup>

**NON HABITABLE AREAS**

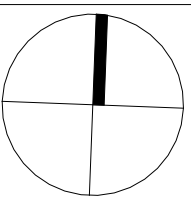
ALFRESCO	24.35 m <sup>2</sup>
BALCONY	9.14 m <sup>2</sup>
DRIVEWAY	38.60 m <sup>2</sup>
GARAGE	38.63 m <sup>2</sup>
TOTAL	110.72 m <sup>2</sup>

**1 SITE PLAN / SITE ANALYSIS**  
1 : 200

**DRAFT ISSUE ONLY - NOT FOR CONSTRUCTION**



AAC AAC PANEL - RENDERED	CSD CAVITY SLIDING DOOR	MV MECHANICAL VENTILATION	RWT RAIN WATER TANK
AP ACCESS PANEL	DP DOWNPIPE	OG OBSCURE / OPAQUE GLASS	SA SMOKE ALARM TO BCA RQM
BFD BI-FOLD DOOR	DS DOUBLE STUD	P POST	SC SELECTED SCREENING
BG BOX GUTTER TO ENG. DETAIL	FB FACE BRICK	PD PANEL LIFT DOOR	SD SLIDING DOOR
BL CONC. BLOCKWORK	FC FIBRE CEMENT	PFC PARALLEL FLANGE CHANNEL	SHS SQUARE HOLLOW SECTION
BM BEAM TO ENG. DETAIL	FG FIXED GLAZING	RBL RENDERED BLOCK WORK	SL SKYLIGHT
BV BRICK VENT TO BCA RQM	FW FLOOR WASTE	RB RENDERED BRICK	ST STACKER DOOR
C COLUMN TO ENG. DETAIL	GR SELECTED GLASS RAILING	RD ROLLER DOOR	TD TRIMDEK ROOF SHEET
CB COLORBOND	HR SELECTED HANDRAIL	RH RAIN WATER HEAD	TOW TOP OF WALL (RL)
CL SELECTED CLADDING	HWU HOT WATER UNIT	RT ROOF TILES	TPS TRIPLE STUD
CLR CLADDING - RENDER LOOK	LB LETTER BOX	RW RETAINING WALL	
CLT CLADDING - TIMBER (LOOK)	LV LOUVRES	RWH RAIN WATER HEAD	



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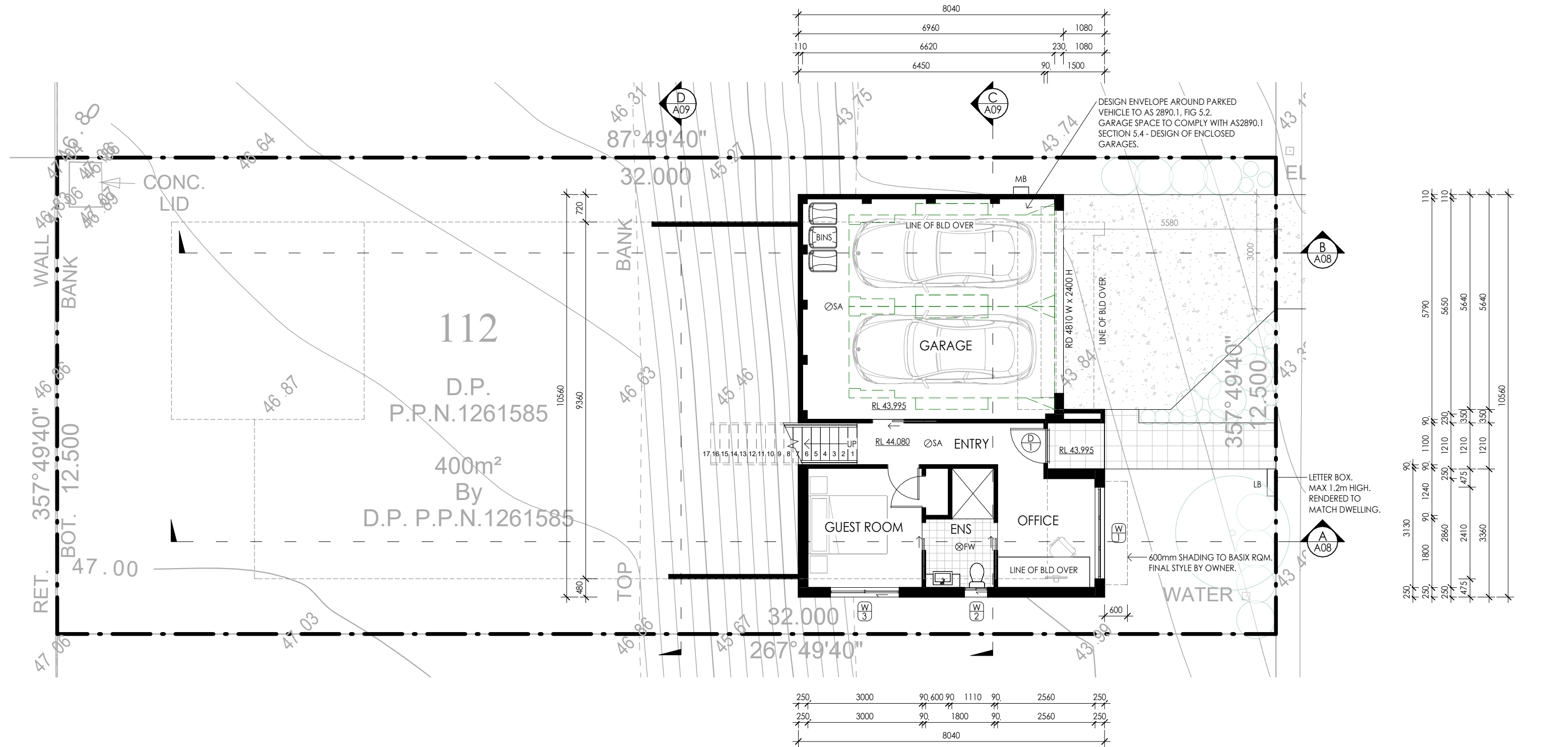
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**NEW DWELLING**

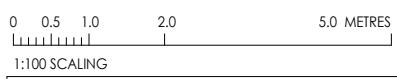
At ARALUEN TCE Ref 230201  
TULLIMBAR For MCKENZIE  
LOT 112 in DP 1261585

Rev	Status / Issue	Date	Description of rev. D	Sheet	Rev
0	FIRST DRAFTS	14.02.2022	- Window sizes amended	A02	D
1	REVISIONS 1	21.02.2023	- Eave over Souther windows amended		
2	REVISIONS 2	23.2.2023			
A	DEVELOPER APPROVAL	28.02.2023			
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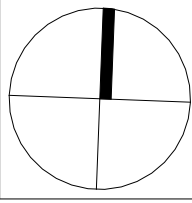
Dwg SITE PLAN / SITE ANALYSIS  
Scale 1 : 200 @A3



1 | GROUND FLOOR PLAN  
1 : 100



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CLR CLADDING - RENDER LOOK	LB LETTER BOX	RW RETAINING WALL	
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LEGEND	
NEW WORK	EXISTING TO BE RETAINED
EXISTING TO BE DEMOLISHED	BEAM OVER TO ENG. DETAIL
ROOF / NEW WORK OVER	BEHIND / HIDDEN / ABOVE
INSULATION TO BASIX RQM	COMPLIANCE NOTATION
SITE CUT / EXTG GRND LINE	

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LOT 112 in DP 1261585

Ref 230201  
For MCKENZIE

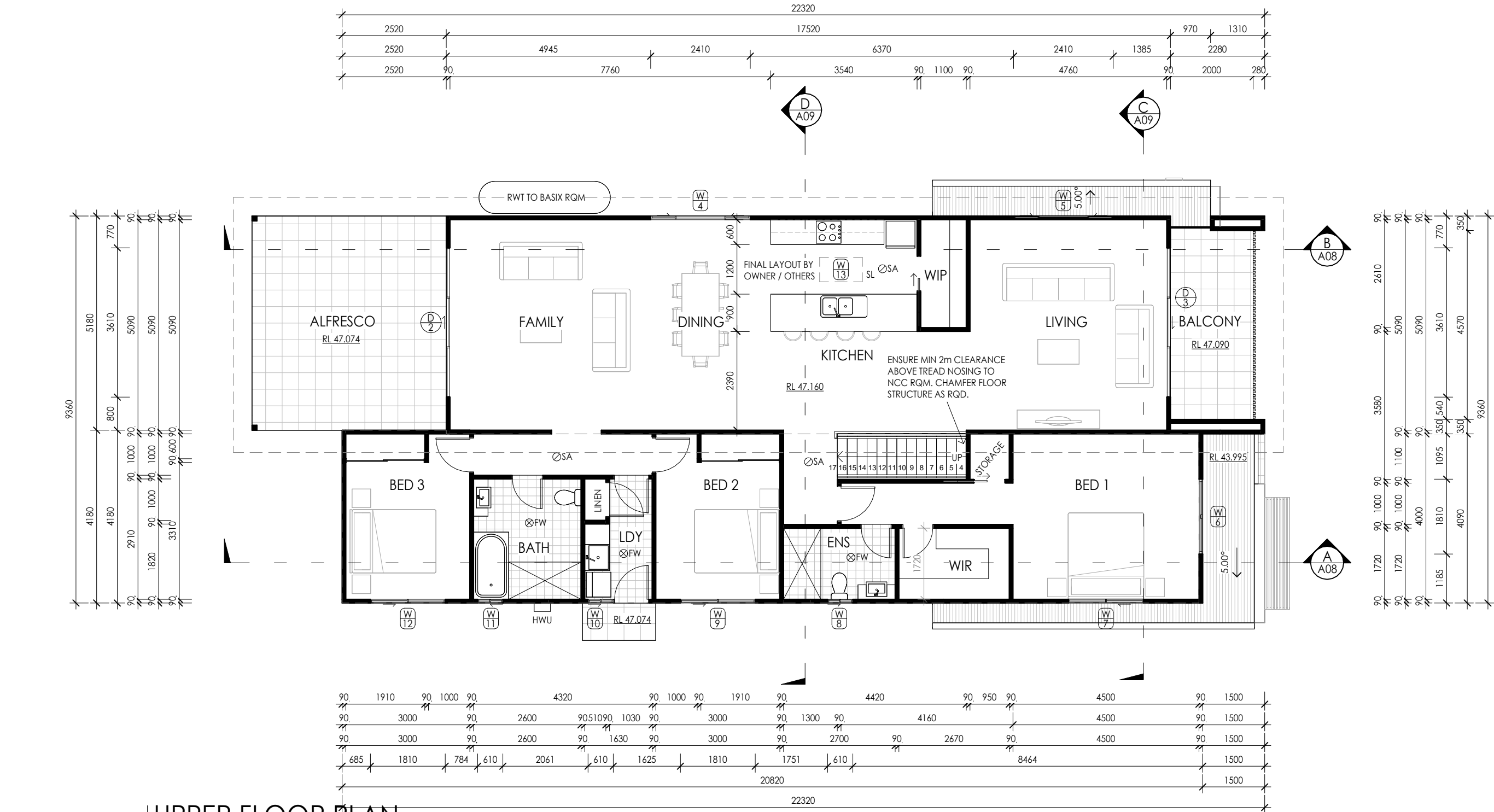
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Sheet  
**A04**

Rev  
**D**

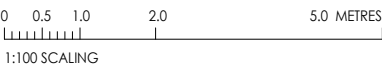
Dwg  
PROPOSED GROUND  
FLOOR

Scale  
1 : 100 @A3



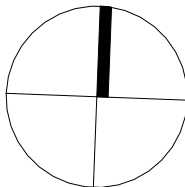
# 1 UPPER FLOOR PLAN

1 : 100



1:100 SCALING

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LEGEND	
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	EXISTING TO BE RETAINED
	EXISTING TO BE DEMOLISHED
	BEAM OVER TO ENG. DETAIL
	ROOF / NEW WORK OVER
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	INSULATION TO BASIX RQM
	COMPLIANCE NOTATION
	SITE CUT / EXTG GRND LINE

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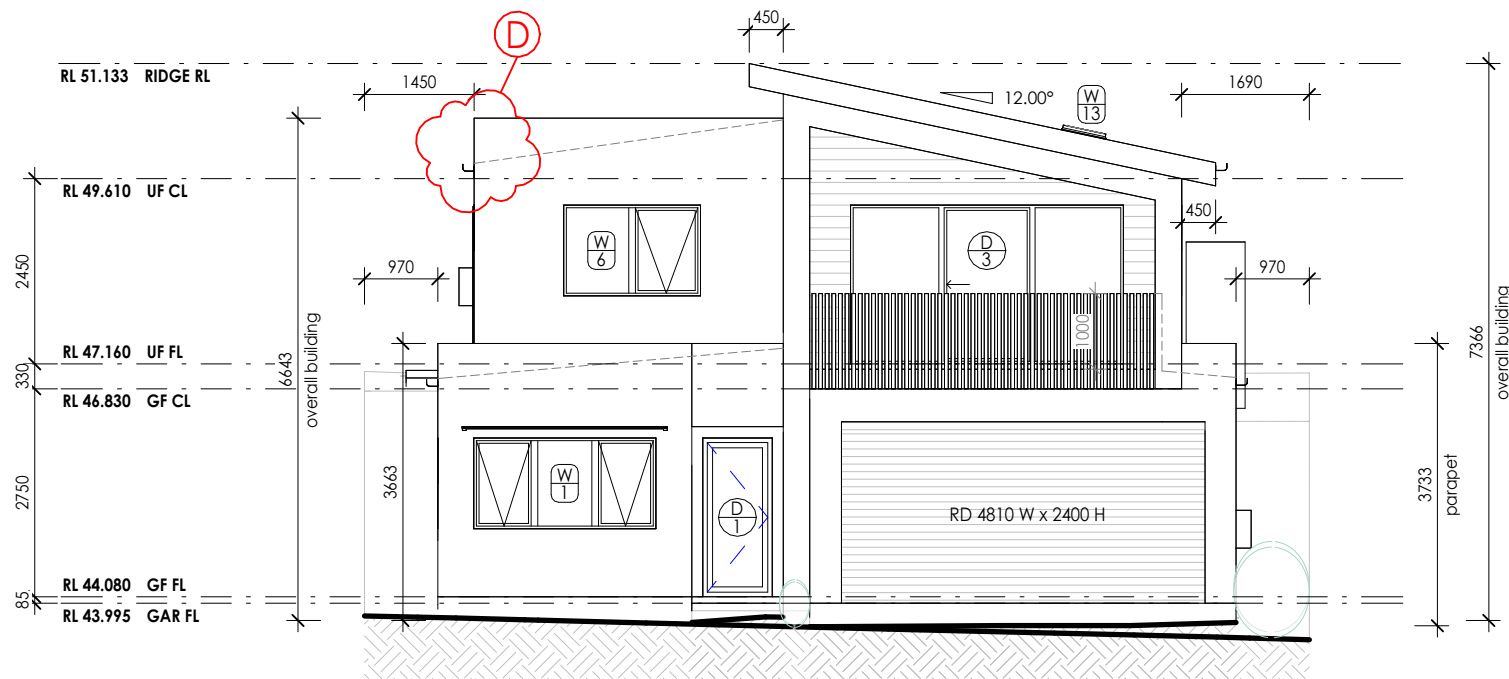
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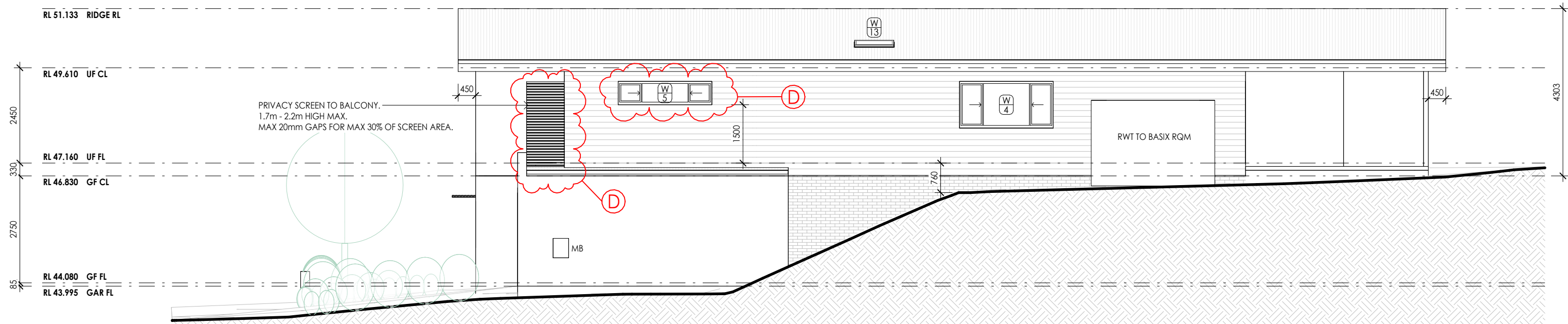
Dwg  
PROPOSED UPPER  
FLOOR

Scale  
1 : 100 @A3





1 EAST ELEVATION  
1 : 100



2 NORTH ELEVATION  
1 : 100

#### CONSTRUCTION SCHEDULE

Refer also to specific notes on plans.

#### ROOF

Colorbond roof sheet (medium color).  
Roof framing to manuf. spec. / AS 1684.  
Selected fascia, gutters & downpipes.  
Fiber cement soffit lining, painted finish.  
Insulation to BASIX requirements.

#### WALLS

Brick veneer external walls. Rendered finish.  
Selected cladding to timber framed external walls to AS 1684. Textured finish.  
110mm brick garage walls with engaged piers. Rendered finish.  
Internal wall lining to be "Gyprock".  
Insulation to BASIX requirements.  
Paint finish to owners selection.

#### WINDOWS / SLIDING DOORS

All windows / sliding doors to be powder coated aluminium.  
Framing/glazing to BASIX requirements.

#### FLOORS

Ground & garage - concrete to Eng. details.  
Upper - timber frame to AS 1684 & with particle board flooring.  
Insulation to BASIX requirements.

#### FOOTINGS & SUBFLOOR

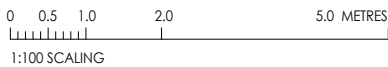
110mm brick base walls.  
Engaged brick piers to Eng. details.  
All footings and slabs to Eng. details.

#### DRAINAGE

Roof runoff to be directed to water tank as per BASIX requirements.  
Stormwater drainage to Eng. specifications.

#### HANDRAILS

All handrails to be selected by owner and be a minimum of 1m in height to NCC rqm.



1:100 SCALING

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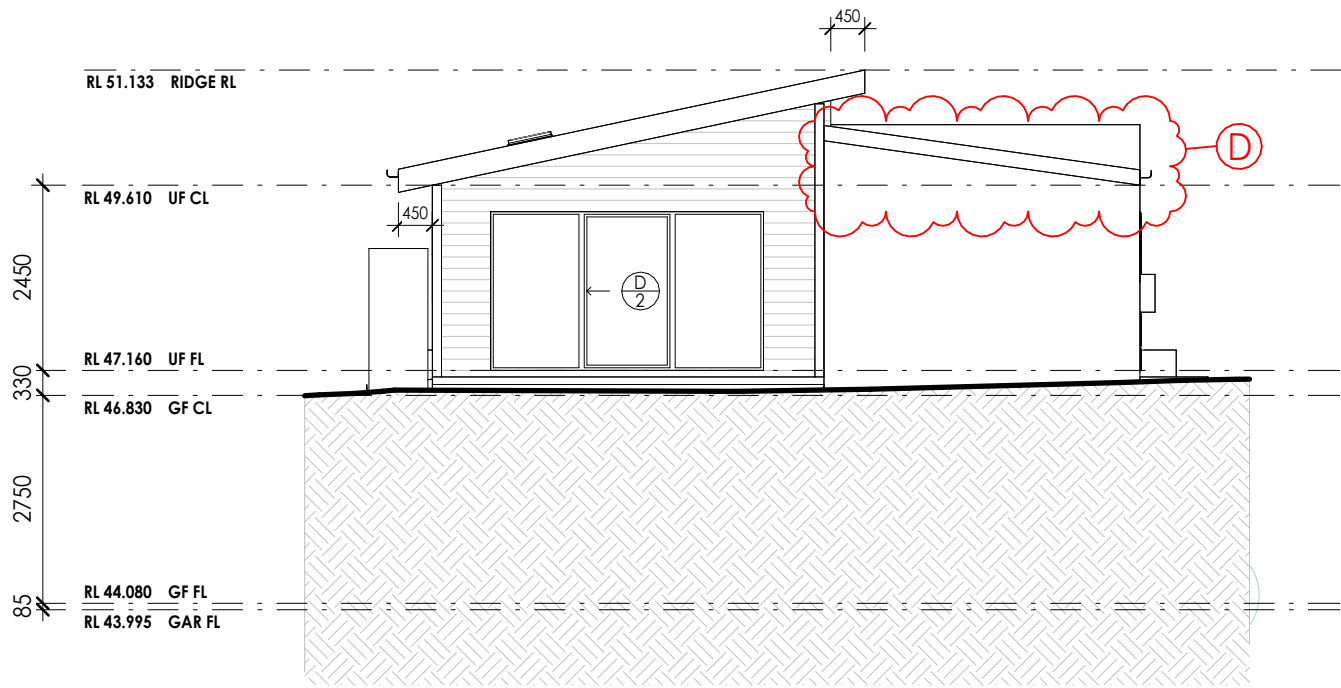
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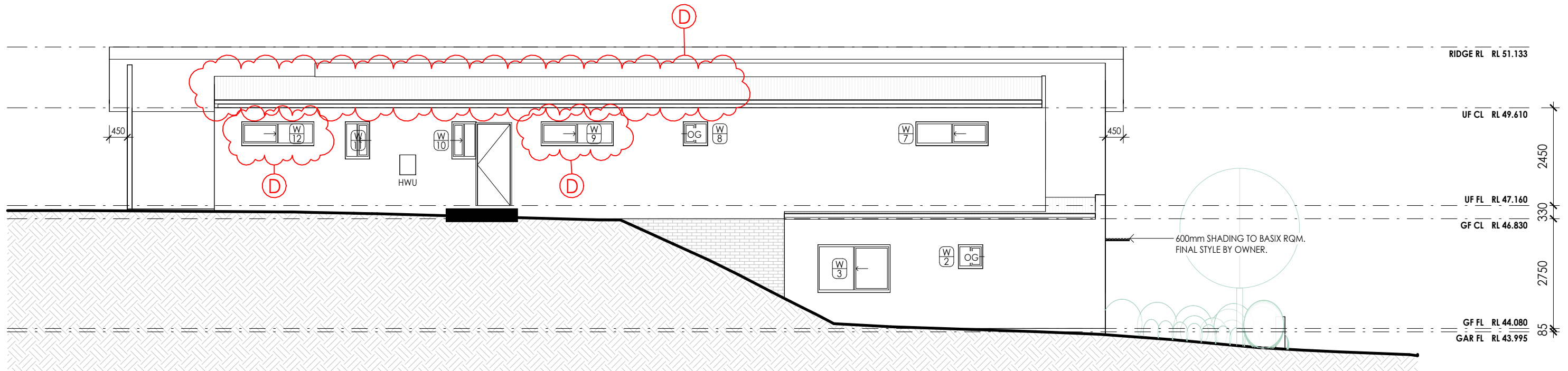
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Scale  
1 : 100 @A3



1 | WEST ELEVATION  
1 : 100



2 | SOUTH ELEVATION  
1 : 100

#### CONSTRUCTION SCHEDULE

Refer also to specific notes on plans.

#### ROOF

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Framing/glazing to BASIX requirements.

#### FLOORS

Ground & garage - concrete to Eng. details.  
Upper - timber frame to AS 1684 & with particle board flooring.  
Insulation to BASIX requirements.

#### FOOTINGS & SUBFLOOR

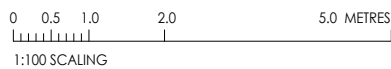
110mm brick base walls.  
Engaged brick piers to Eng. details.  
All footings and slabs to Eng. details.

#### DRAINAGE

Roof runoff to be directed to water tank as per BASIX requirements.  
Stormwater drainage to Eng. specifications.

#### HANDRAILS

All handrails to be selected by owner and be a minimum of 1m in height to NCC rqm.



1:100 SCALING

AAC AAC PANEL - RENDERED	CSD CAVITY SLIDING DOOR	MV MECHANICAL VENTILATION	RWT RAIN WATER TANK
AP ACCESS PANEL	DP DOWNPIPE	OG OBSCURE / OPAQUE GLASS	SA SMOKE ALARM TO BCA RQM
BFD BI-FOLD DOOR	DS DOUBLE STUD	P POST	SC SELECTED SCREENING
BG BOX GUTTER TO ENG. DETAIL	FB FACE BRICK	PD PANEL LIFT DOOR	SD SLIDING DOOR
BL CONC. BLOCKWORK	FC FIBRE CEMENT	PFC PARALLEL FLANGE CHANNEL	SHS SQUARE HOLLOW SECTION
BM BEAM TO ENG. DETAIL	FG FIXED GLAZING	RBL RENDERED BLOCK WORK	SL SKYLIGHT
BV BRICK VENT TO BCA RQM	FW FLOOR WASTE	RB RENDERED BRICK	ST STACKER DOOR
C COLUMN TO ENG. DETAIL	GR SELECTED GLASS RAILING	RD ROLLER DOOR	TD TRIMDEK ROOF SHEET
CB COLORBOND	HR SELECTED HANDRAIL	RH RAIN WATER HEAD	TOW TOP OF WALL (RL)
CL SELECTED CLADDING	HWU HOT WATER UNIT	RT ROOF TILES	TPS TRIPLE STUD
CLR CLADDING - RENDER LOOK	LB LETTER BOX	RW RETAINING WALL	
CLT CLADDING - TIMBER (LOOK)	LV LOUVRES	RWH RAIN WATER HEAD	

LEGEND	
	NEW WORK
	EXISTING TO BE RETAINED
	EXISTING TO BE DEMOLISHED
	BEAM OVER TO ENG. DETAIL
	ROOF / NEW WORK OVER
	BEHIND / HIDDEN / ABOVE
	INSULATION TO BASIX RQM
	COMPLIANCE NOTATION
	SITE CUT / EXTG GRND LINE

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#### CONCEPT ISSUE ONLY NOT FOR CONSTRUCTION

#### NEW DWELLING

At ARALUEN TCE  
TULLIMBAR  
LOT 112 in DP 1261585  
Ref 230201  
For MCKENZIE

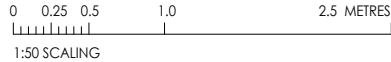
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0	FIRST DRAFTS	14.02.2022	- Window sizes amended	A07	D
1	REVISIONS 1	21.02.2023	- Eave over Souther windows amended		
2	REVISIONS 2	23.2.2023			
A	DEVELOPER APPROVAL	28.02.2023			
B	REVISIONS 3	08.03.2023		ELEVATIONS 2	
C	DEVELOPER APPROVAL	15.03.2023			
D	REVISIONS 4	21.03.2023			
				Scale 1 : 100 @A3	



A SECTION A-A  
1:75



B SECTION B-B  
1:75



LEGEND									
AAC AAC PANEL - RENDERED	CSD CAVITY SLIDING DOOR	MV MECHANICAL VENTILATION	RWT RAIN WATER TANK	NEW WORK	SA SMOKE ALARM TO BCA RQM	Rev	Status / Issue	Date	Description of rev. D
AP ACCESS PANEL	DP DOWNPIPE	OG OBSCURE / OPAQUE GLASS	SA SMOKE ALARM TO BCA RQM	EXISTING TO BE RETAINED	SC SELECTED SCREENING	0	FIRST DRAFTS	14.02.2022	- Window sizes amended
BFD BI-FOLD DOOR	DS DOUBLE STUD	P POST	SC SELECTED SCREENING	EXISTING TO BE DEMOLISHED	SD SLIDING DOOR	1	REVISIONS 1	21.02.2023	- Eave over Souther windows amended
BG BOX GUTTER TO ENG. DETAIL	FC FIBRE CEMENT	PD PANEL LIFT DOOR	SHS SQUARE HOLLOW SECTION	BEAM OVER TO ENG. DETAIL	SL SKYLIGHT	2	REVISIONS 2	23.2.2023	
BL CONC. BLOCKWORK	FG FIXED GLAZING	PFC PARALLEL FLANGE CHANNEL	ST STACKER DOOR	ROOF / NEW WORK OVER	TD TRIMDEK ROOF SHEET	A	DEVELOPER APPROVAL	28.02.2023	
BM BEAM TO ENG. DETAIL	FW FLOOR WASTE	RBL RENDERED BLOCK WORK	TOW TOP OF WALL (RL)	BEHIND / HIDDEN / ABOVE	TPS TRIPLE STUD	B	REVISIONS 3	08.03.2023	
BV BRICK VENT TO BCA RQM	GR SELECTED GLASS RAILING	RB RENDERED BRICK	COMPLIANCE NOTATION	INSULATION TO BASIX RQM		C	DEVELOPER APPROVAL	15.03.2023	
C COLUMN TO ENG. DETAIL	HR SELECTED HANDRAIL	RD ROLLER DOOR	SITE CUT / EXTG GRND LINE			D	REVISIONS 4	21.03.2023	
CB COLORBOND	HWU HOT WATER UNIT	RH RAIN WATER HEAD							
CL SELECTED CLADDING	LB LETTER BOX	RT ROOF TILES							
CLR CLADDING - RENDER LOOK	LV LOUVRES	RW RETAINING WALL							
CLT CLADDING - TIMBER (LOOK)		RWH RAIN WATER HEAD							

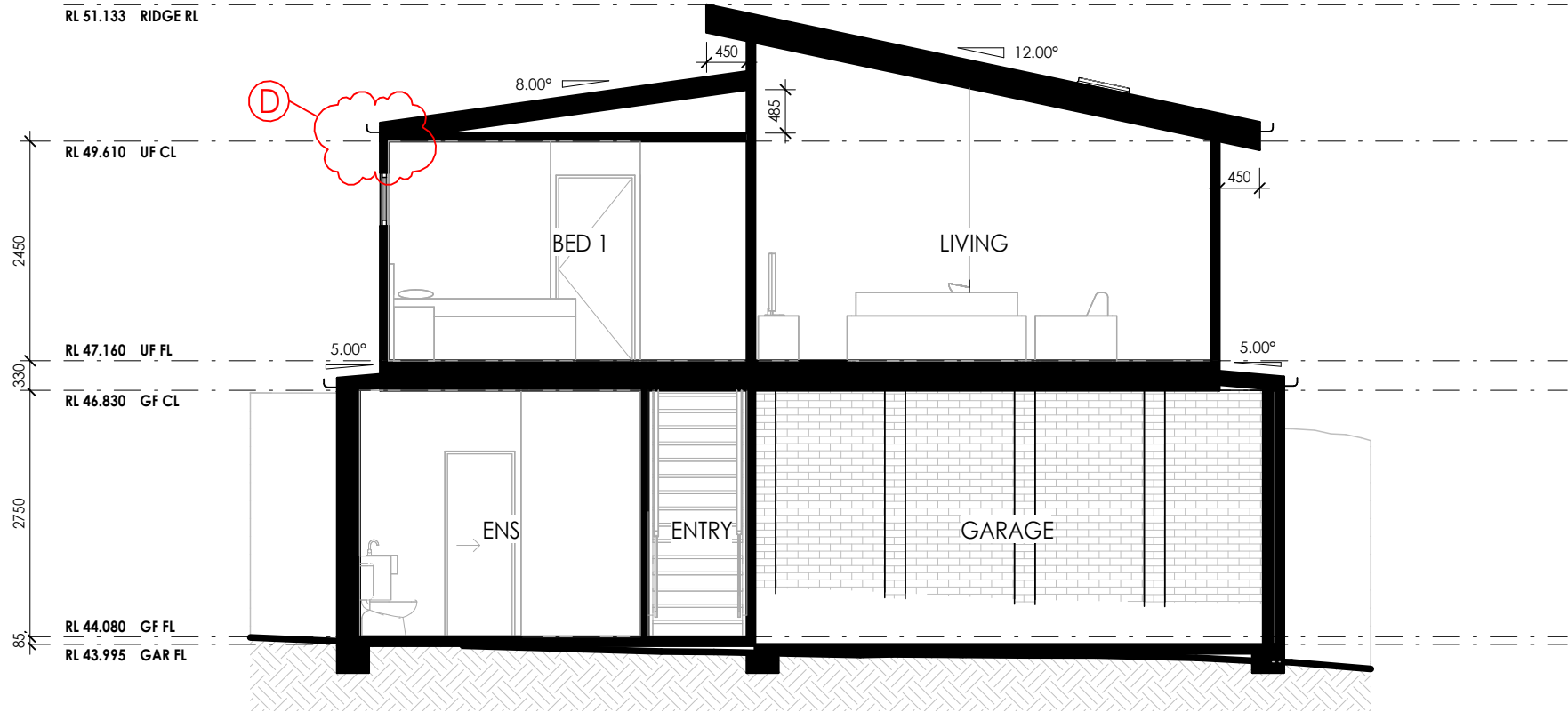
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NEW DWELLING

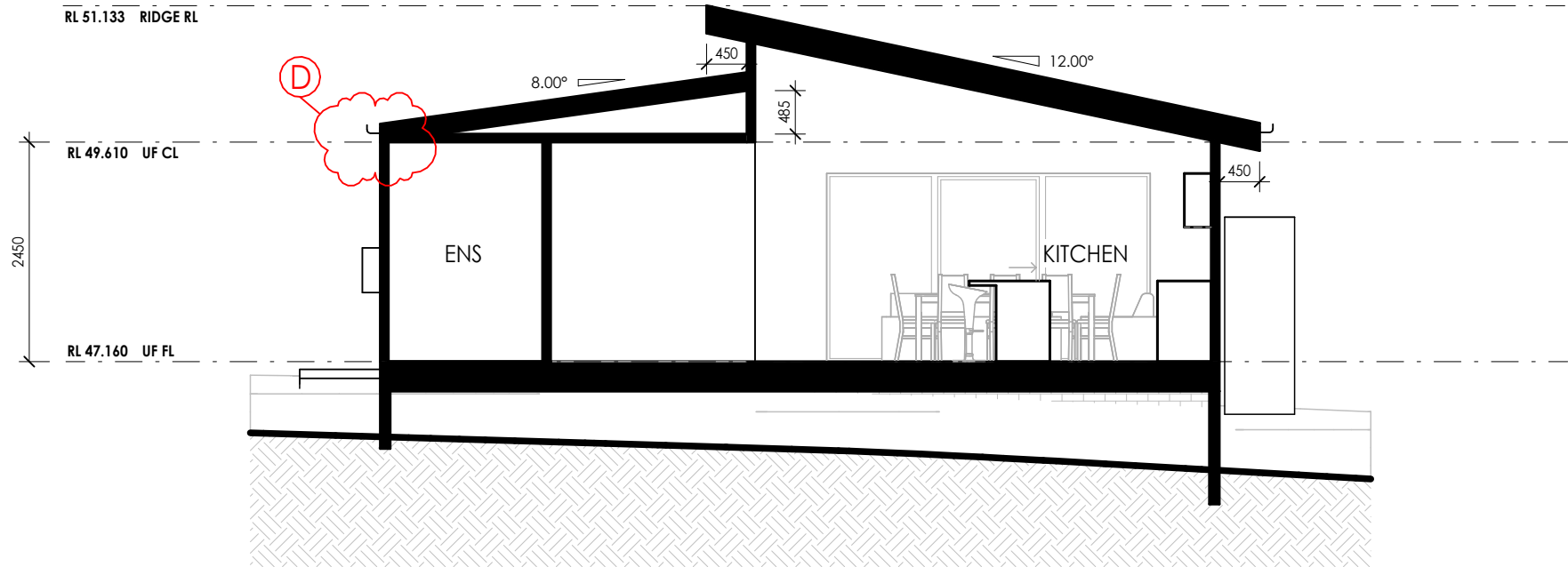
At ARALUEN TCE  
TULLIMBAR  
LOT 112 in DP 1261585

Ref 230201  
For MCKENZIE

Sheet	Rev
A08	D
Dwg	SECTIONS 1
Scale	1 : 75 @A3



C | SECTION C-C  
1 : 75



D | SECTION D-D  
1 : 75

CONSTRUCTION SCHEDULE

Refer also to specific notes on plans.

**ROOF**  
Colorbond roof sheet (medium color).  
Roof framing to manuf. spec. / AS 1684.  
Selected fascia, gutters & downpipes.  
Fiber cement soffit lining, painted finish.  
Insulation to BASIX requirements.

**WALLS**  
Brick veneer external walls. Rendered finish.  
Selected cladding to timber framed external walls to AS 1684. Textured finish.  
110mm brick garage walls with engaged piers. Rendered finish.  
Internal wall lining to be "Gyprock".  
Insulation to BASIX requirements.  
Paint finish to owners selection.

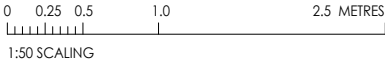
**WINDOWS / SLIDING DOORS**  
All windows / sliding doors to be powder coated aluminium.  
Framing/glazing to BASIX requirements.

**FLOORS**  
Ground & garage - concrete to Eng. details.  
Upper - timber frame to AS 1684 & with particle board flooring.  
Insulation to BASIX requirements.

**FOOTINGS & SUBFLOOR**  
110mm brick base walls.  
Engaged brick piers to Eng. details.  
All footings and slabs to Eng. details.

**DRAINAGE**  
Roof runoff to be directed to water tank as per BASIX requirements.  
Stormwater drainage to Eng. specifications.

**HANDRAILS**  
All handrails to be selected by owner and be a minimum of 1m in height to NCC rqm.



1:50 SCALING

AAC AAC PANEL - RENDERED	CSD CAVITY SLIDING DOOR	MV MECHANICAL VENTILATION
AP ACCESS PANEL	DP DOWNPIPE	OG OBSCURE / OPAQUE GLASS
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BM BEAM TO ENG. DETAIL	FG FIXED GLAZING	RBL RENDERED BLOCK WORK
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C COLUMN TO ENG. DETAIL	GR SELECTED GLASS RAILING	RD ROLLER DOOR
CB COLORBOND	HR SELECTED HANDRAIL	RH RAIN WATER HEAD
CL SELECTED CLADDING	HWU HOT WATER UNIT	RT ROOF TILES
CLR CLADDING - RENDER LOOK	LB LETTER BOX	RW RETAINING WALL
CLT CLADDING - TIMBER (LOOK)	LV LOUVRES	RWH RAIN WATER HEAD

LEGEND	
	NEW WORK
	EXISTING TO BE RETAINED
	EXISTING TO BE DEMOLISHED
	BEAM OVER TO ENG. DETAIL
	ROOF / NEW WORK OVER
	BEHIND / HIDDEN / ABOVE
	INSULATION TO BASIX RQM
	COMPLIANCE NOTATION
	SITE CUT / EXTG GRND LINE

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NEW DWELLING

At ARALUEN TCE  
TULLIMBAR  
LOT 112 in DP 1261585

Ref 230201  
For MCKENZIE

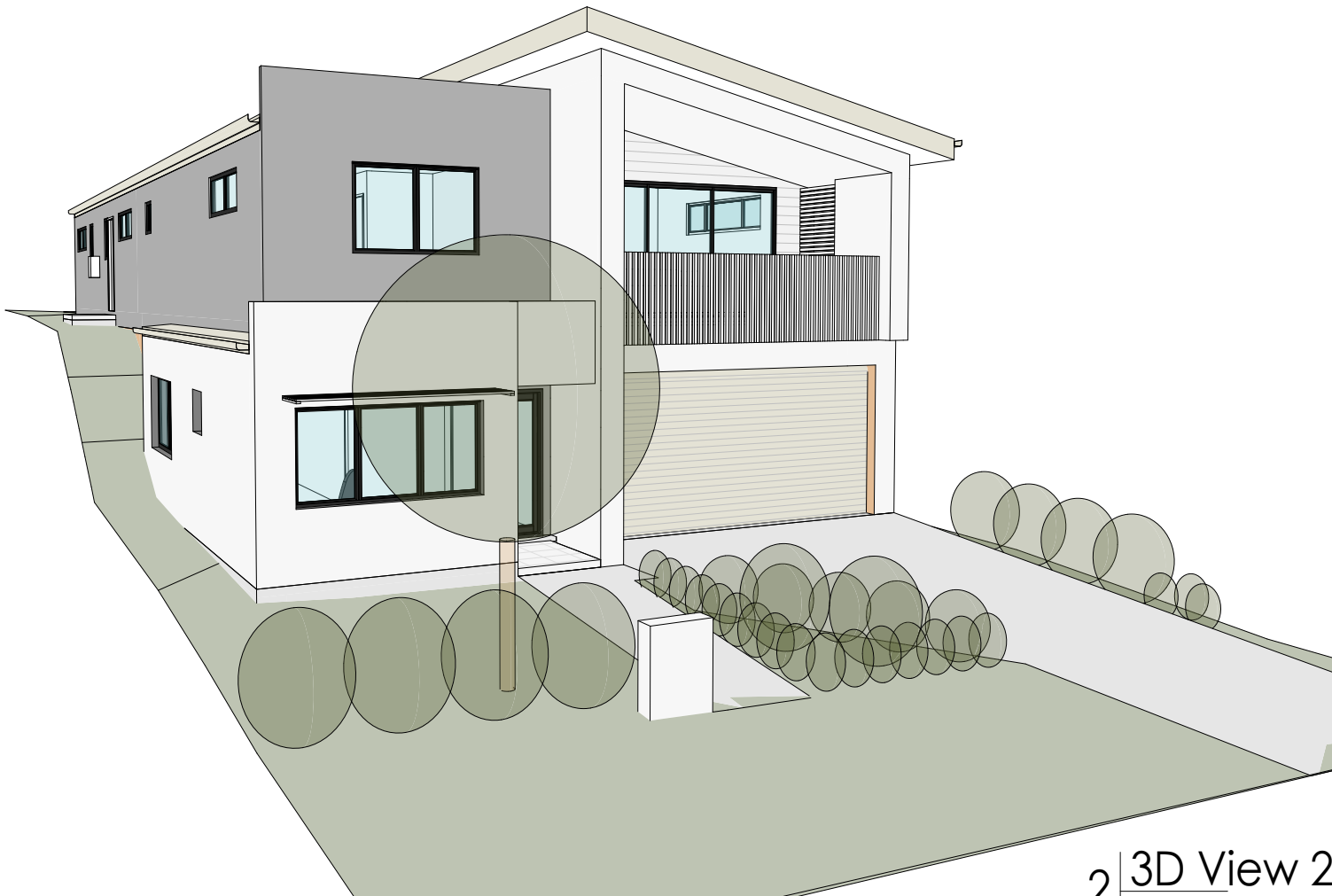
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1	REVISIONS 1	21.02.2023	- Window sizes amended	Dwg	
2	REVISIONS 2	23.2.2023	- Eave over Souther windows amended	SECTIONS 2	
A	DEVELOPER APPROVAL	28.02.2023			
B	REVISIONS 3	08.03.2023			
C	DEVELOPER APPROVAL	15.03.2023			
D	REVISIONS 4	21.03.2023			

Scale  
1 : 75 @A3

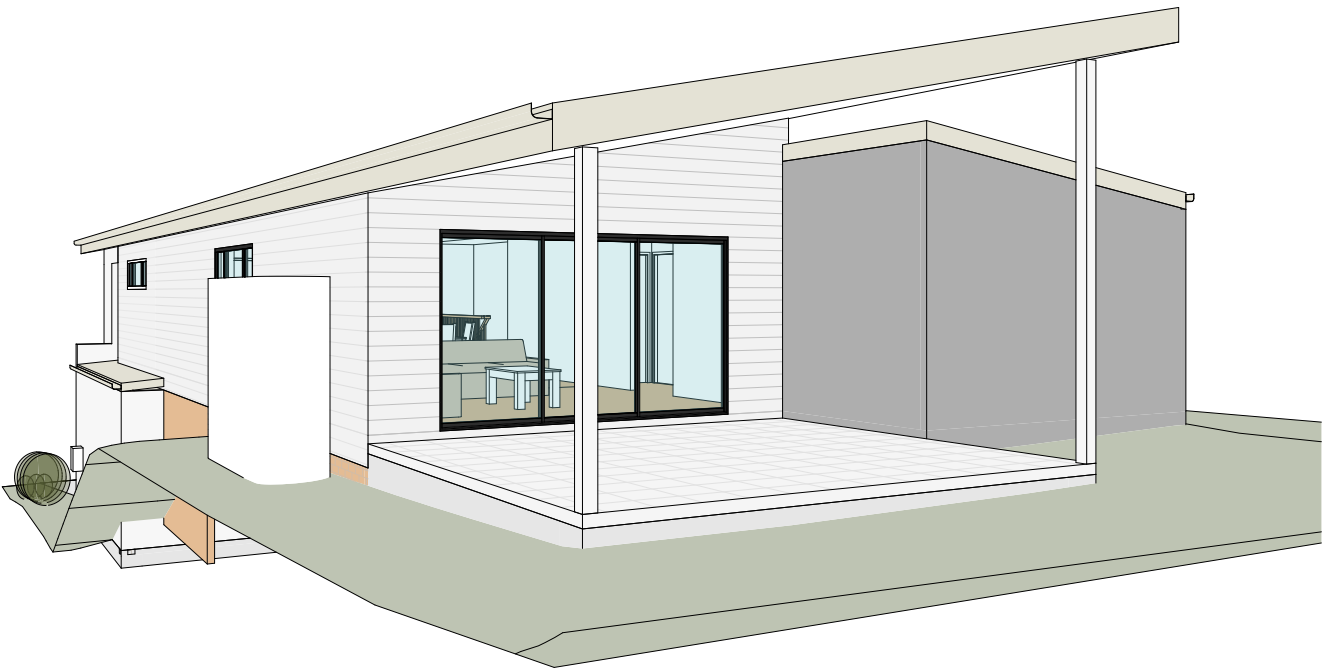




1 | 3D View 1



2 | 3D View 2



3 | 3D View 3

LYSAGHT SMARTSCREEN FENCING IN  
SELECTED NEUTRAL TONE.  
E.G. COLORBOND "GREY RIDGE" OR SIMILAR



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BV BRICK VENT TO BCA RQM	FW FLOOR WASTE	RB RENDERED BRICK	ST STACKER DOOR
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CL SELECTED CLADDING	HWU HOT WATER UNIT	RT ROOF TILES	TPS TRIPLE STUD
CLR CLADDING - RENDER LOOK	LB LETTER BOX	RW RETAINING WALL	
CLT CLADDING - TIMBER (LOOK)	LV LOUVRES	RWH RAIN WATER HEAD	

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NEW DWELLING

At ARALUEN TCE Ref 230201  
TULLIMBAR For MCKENZIE  
LOT 112 in DP 1261585

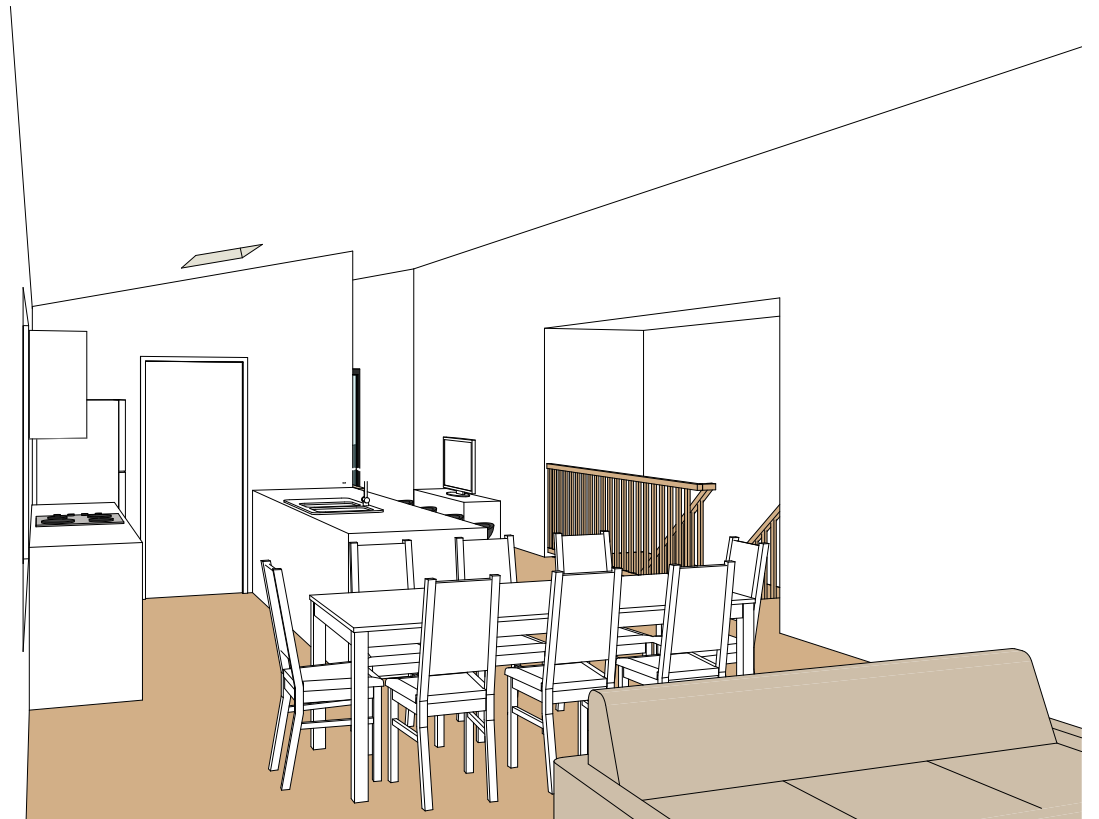
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1	REVISIONS 1	21.02.2023	- Eave over Souther windows amended		
2	REVISIONS 2	23.2.2023			
A	DEVELOPER APPROVAL	28.02.2023			
B	REVISIONS 3	08.03.2023			
C	DEVELOPER APPROVAL	15.03.2023			
D	REVISIONS 4	21.03.2023			
				Dwg 3D VIEWS & MATERIAL SCHEDULE	
				Scale @A3	

**NOTE**  
USE LOW REFLECTIVE EXTERNAL FINISHES TO  
COMPLY WITH DA CONDITION.

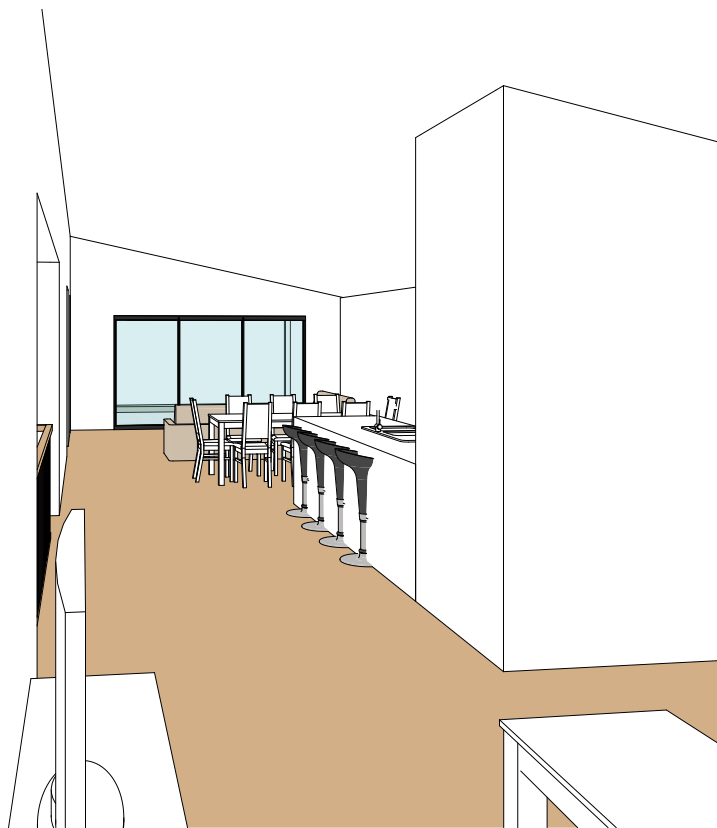
**NOTE**  
FINAL COLOURS SELECTED BY OWNER & MAY  
DIFFER TO THOSE INDICATED.



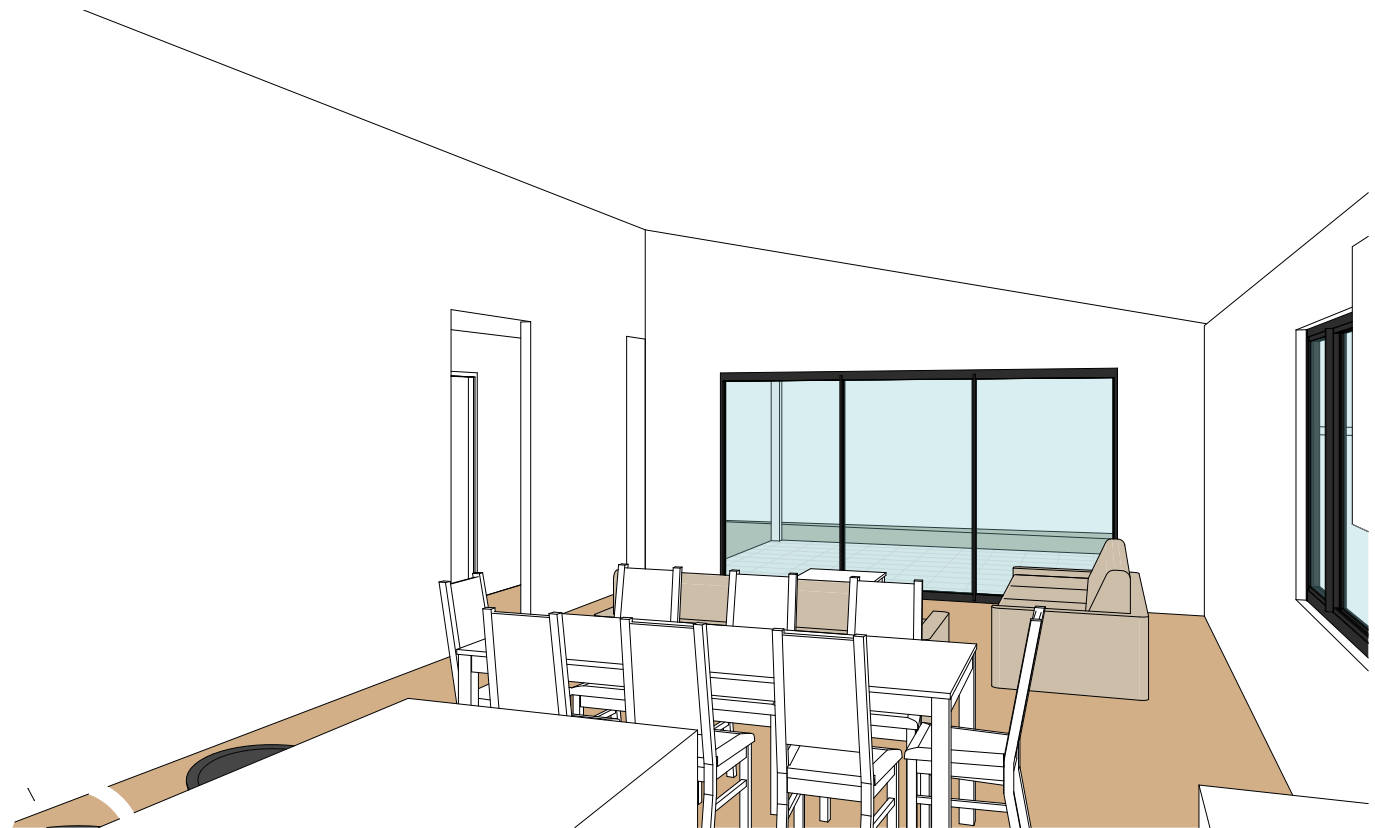
1 | 3D View 4



2 | 3D View 5



3 | 3D View 6



4 | 3D View 7

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AAC AAC PANEL - RENDERED	CSD CAVITY SLIDING DOOR	MV MECHANICAL VENTILATION	RWT RAIN WATER TANK
AP ACCESS PANEL	DP DOWNPIPE	OG OPAQUE GLASS	SA SMOKE ALARM TO BCA RQM
BFD BI-FOLD DOOR	DS DOUBLE STUD	P POST	SC SELECTED SCREENING
BG BOX GUTTER TO ENG. DETAIL	FB FACE BRICK	PD PANEL LIFT DOOR	SD SLIDING DOOR
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C COLUMN TO ENG. DETAIL	GR SELECTED GLASS RAILING	RD ROLLER DOOR	TD TRIMDEK ROOF SHEET
CB COLORBOND	HR SELECTED HANDRAIL	RH RAIN WATER HEAD	TOW TOP OF WALL (RL)
CL SELECTED CLADDING	HWU HOT WATER UNIT	RT ROOF TILES	TPS TRIPLE STUD
CLR CLADDING - RENDER LOOK	LB LETTER BOX	RW RETAINING WALL	
CLT CLADDING - TIMBER (LOOK)	LV LOUVRES	RWH RAIN WATER HEAD	

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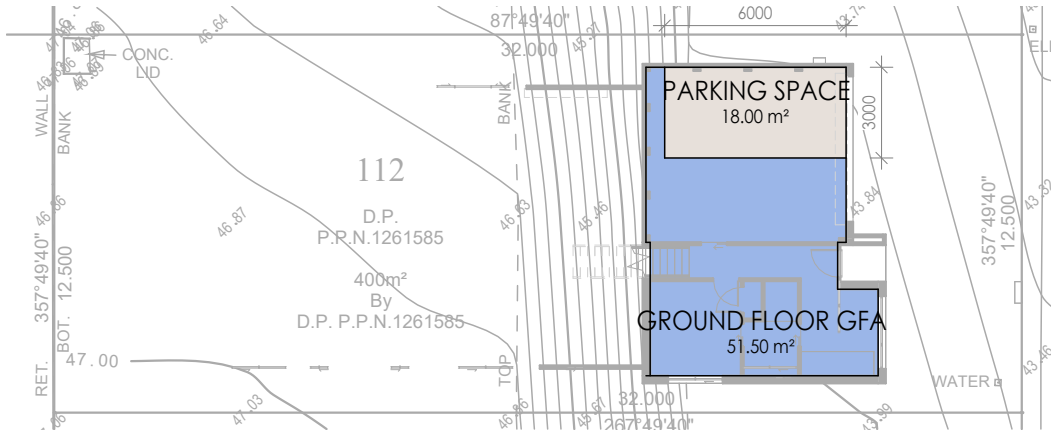
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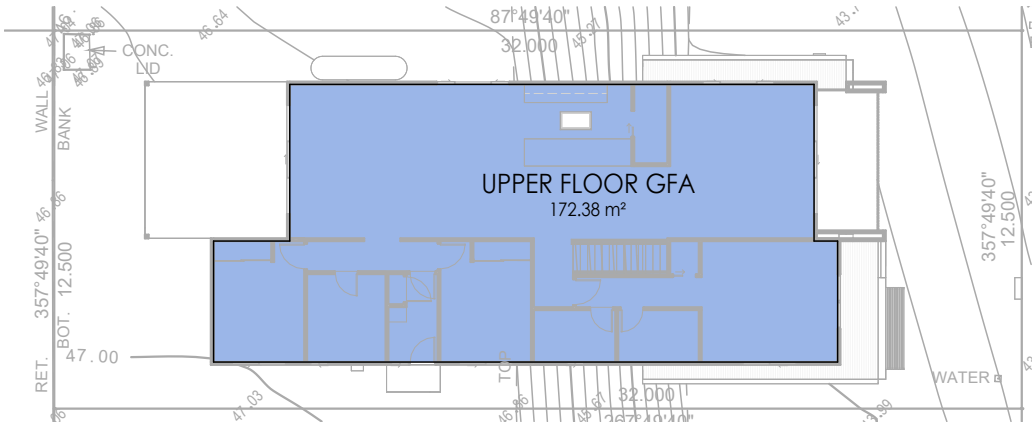
NEW DWELLING

At ARALUEN TCE Ref 230201  
TULLIMBAR For MCKENZIE  
LOT 112 in DP 1261585

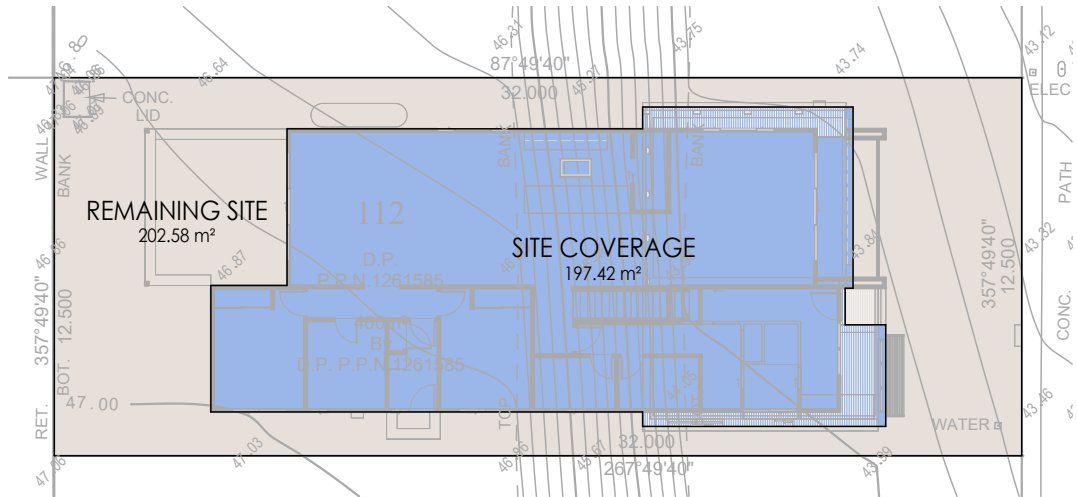
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1	REVISIONS 1	21.02.2023	- Eave over Souther windows amended		
2	REVISIONS 2	23.2.2023			
A	DEVELOPER APPROVAL	28.02.2023			
B	REVISIONS 3	08.03.2023			
C	DEVELOPER APPROVAL	15.03.2023			
D	REVISIONS 4	21.03.2023			
				Dwg INTERIOR 3D VIEWS	
				Scale @A3	



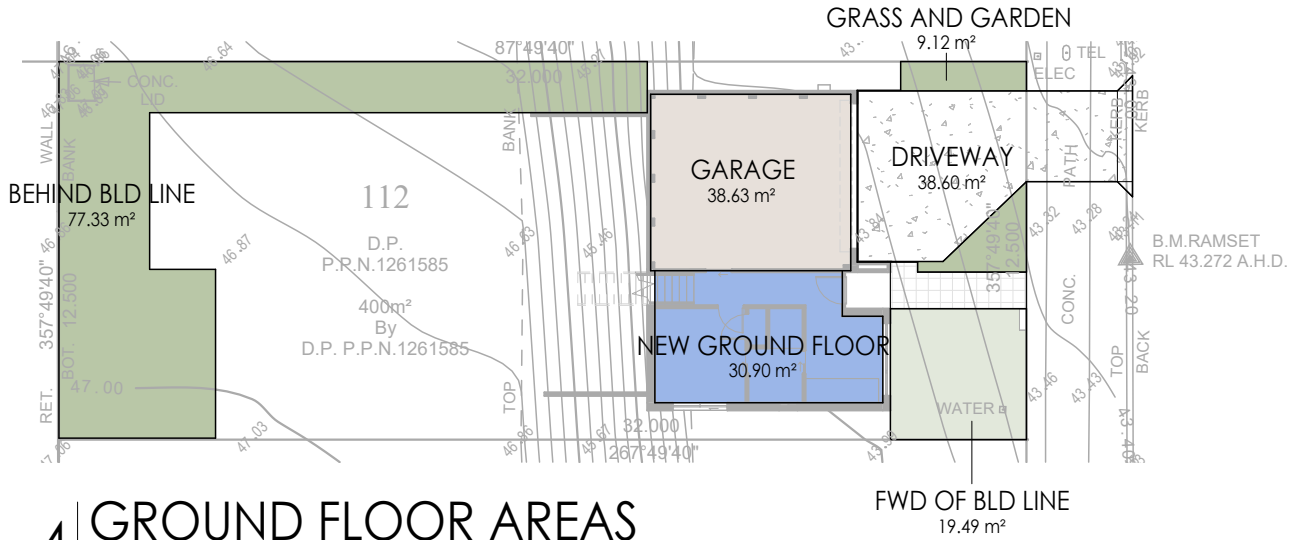
1 | GROUND FLOOR GFA  
1 : 250



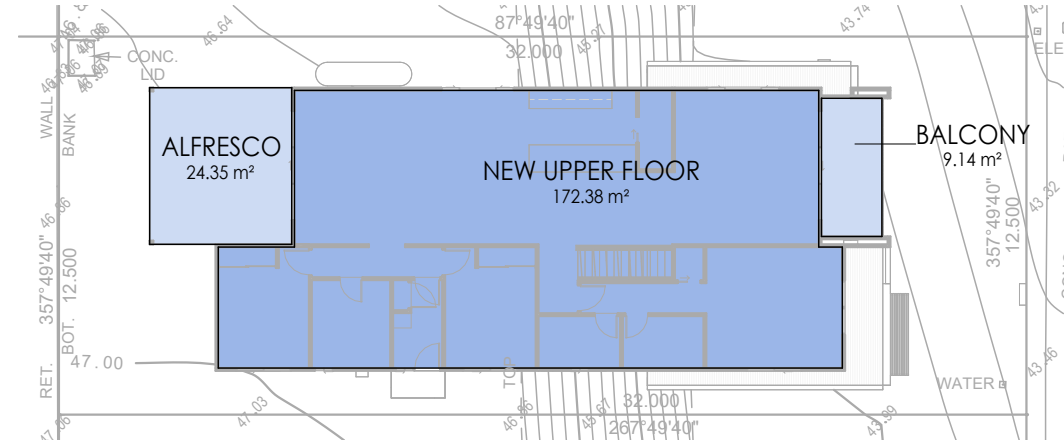
2 | UPPER FLOOR GFA  
1 : 250



3 | SITE COVERAGE  
1 : 250



4 | GROUND FLOOR AREAS  
1 : 250



5 | UPPER FLOOR AREAS  
1 : 250

## SITE DATA CALCULATIONS

TOTAL SITE AREA 400.00 m²

### SITE COVERAGE

SITE COVERAGE 197.42 m² 49.35%  
REMAINING SITE 202.58 m² 50.65%  
TOTAL SITE AREA 400.00 m²

### LANDSCAPED AREA

FWD OF BLD LINE 19.49 m² 20.13%  
BEHIND BLD LINE 77.33 m² 79.87%  
TOTAL 96.82 m²

### GROSS FLOOR AREA

GROUND FLOOR GFA 51.50 m²  
UPPER FLOOR GFA 172.38 m²  
TOTAL 223.89 m²

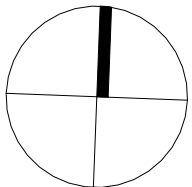
### HABITABLE AREAS

NEW GROUND FLOOR 30.90 m²  
NEW UPPER FLOOR 172.38 m²  
TOTAL 203.28 m²

### NON HABITABLE AREAS

ALFRESCO 24.35 m²  
BALCONY 9.14 m²  
DRIVEWAY 38.60 m²  
GARAGE 38.63 m²  
TOTAL 110.72 m²

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CLT CLADDING - TIMBER (LOOK)	LV LOUVRES	RWH RAIN WATER HEAD	



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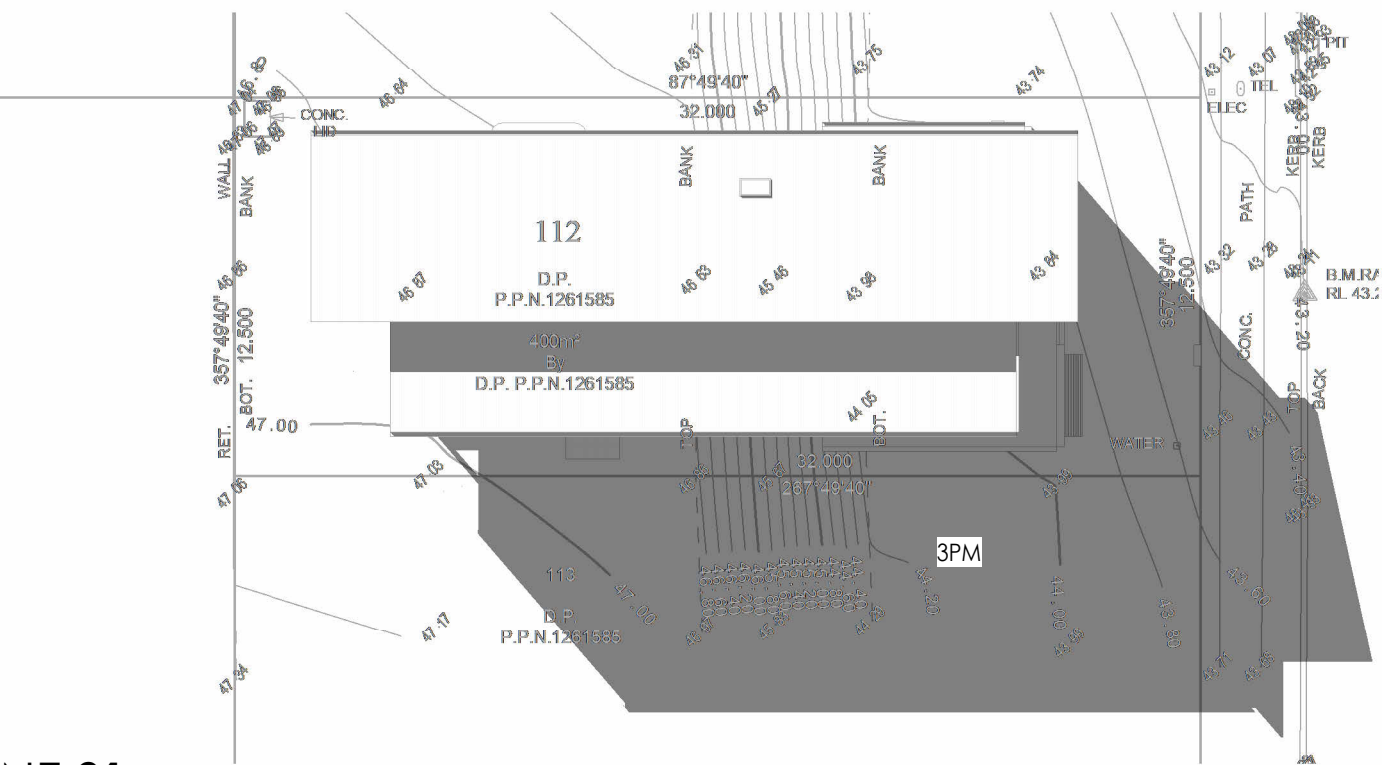
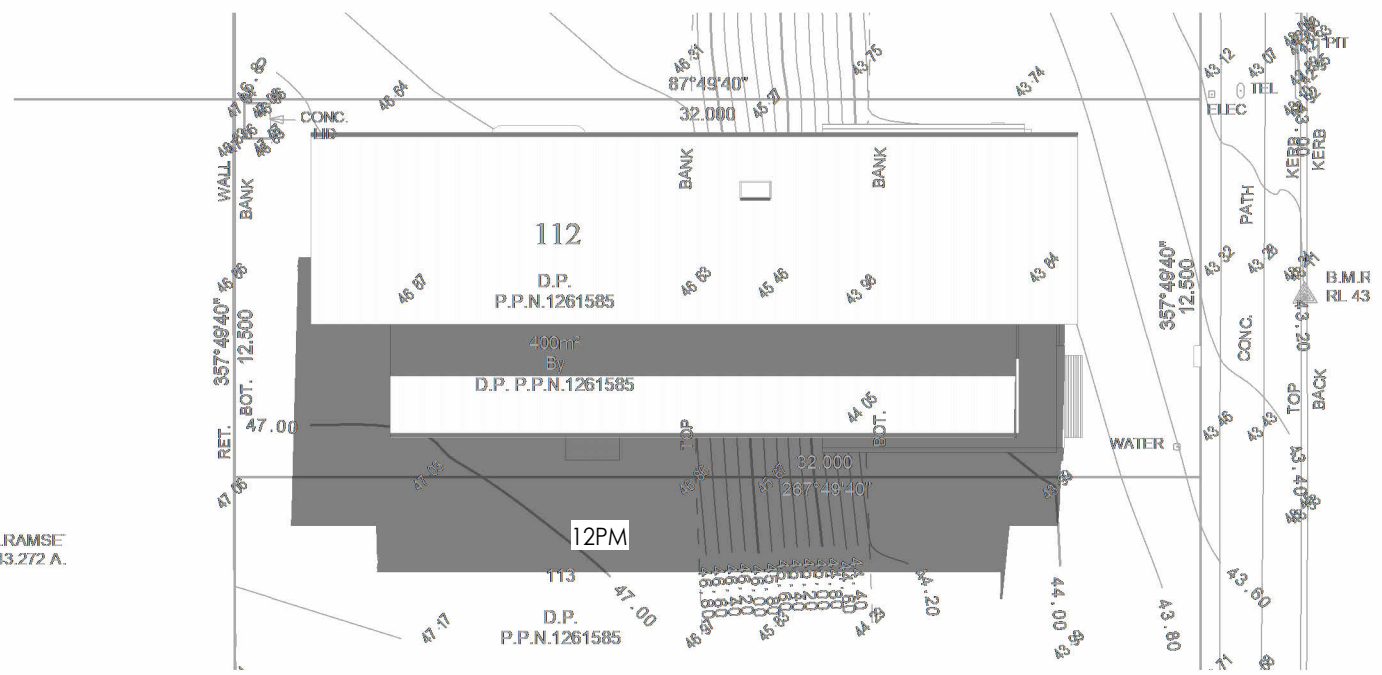
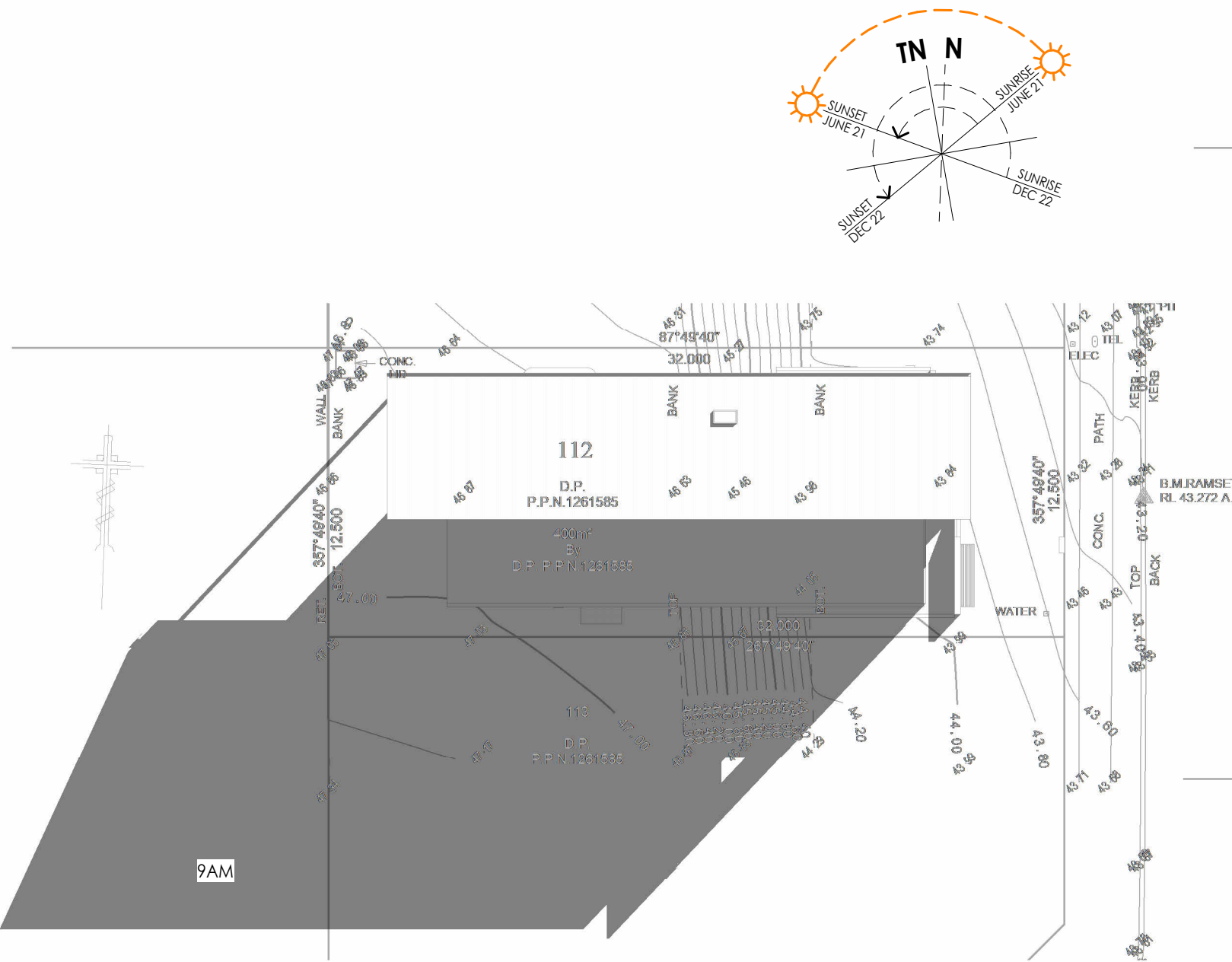
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### NEW DWELLING

At ARALUEN TCE Ref 230201  
TULLIMBAR For MCKENZIE  
LOT 112 in DP 1261585

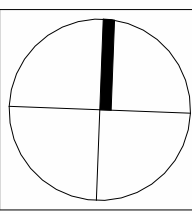
Rev	Status / Issue	Date	Description of rev. D	Sheet	Rev
0	FIRST DRAFTS	14.02.2022	- Window sizes amended	A12	D
1	REVISIONS 1	21.02.2023	- Eave over Souther windows amended		
2	REVISIONS 2	23.2.2023			
A	DEVELOPER APPROVAL	28.02.2023			
B	REVISIONS 3	08.03.2023		Dwg AREA SCHEDULE	
C	DEVELOPER APPROVAL	15.03.2023			
D	REVISIONS 4	21.03.2023			
				Scale 1 : 250 @A3	





SHADOW DIAGRAM - JUNE 21

AAC AAC PANEL - RENDERED	CSD CAVITY SLIDING DOOR	MV MECHANICAL VENTILATION	RWT RAIN WATER TANK
AP ACCESS PANEL	DP DOWNPIPE	OG OBSCURE / OPAQUE GLASS	SA SMOKE ALARM TO BCA RQM
BFD BI-FOLD DOOR	DS DOUBLE STUD	P POST	SC SELECTED SCREENING
BG BOX GUTTER TO ENG. DETAIL	FB FIBRE CEMENT	PD PANEL LIFT DOOR	SD SLIDING DOOR
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CL SELECTED CLADDING	HWU HOT WATER UNIT	RT ROOF TILES	TPS TRIPLE STUD
CLR CLADDING - RENDER LOOK	LB LETTER BOX	RW RETAINING WALL	
CLT CLADDING - TIMBER (LOOK)	LV LOUVRES	RWH RAIN WATER HEAD	



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NEW DWELLING

At ARALUEN TCE Ref 230201  
TULLIMBAR For MCKENZIE  
LOT 112 in DP 1261585

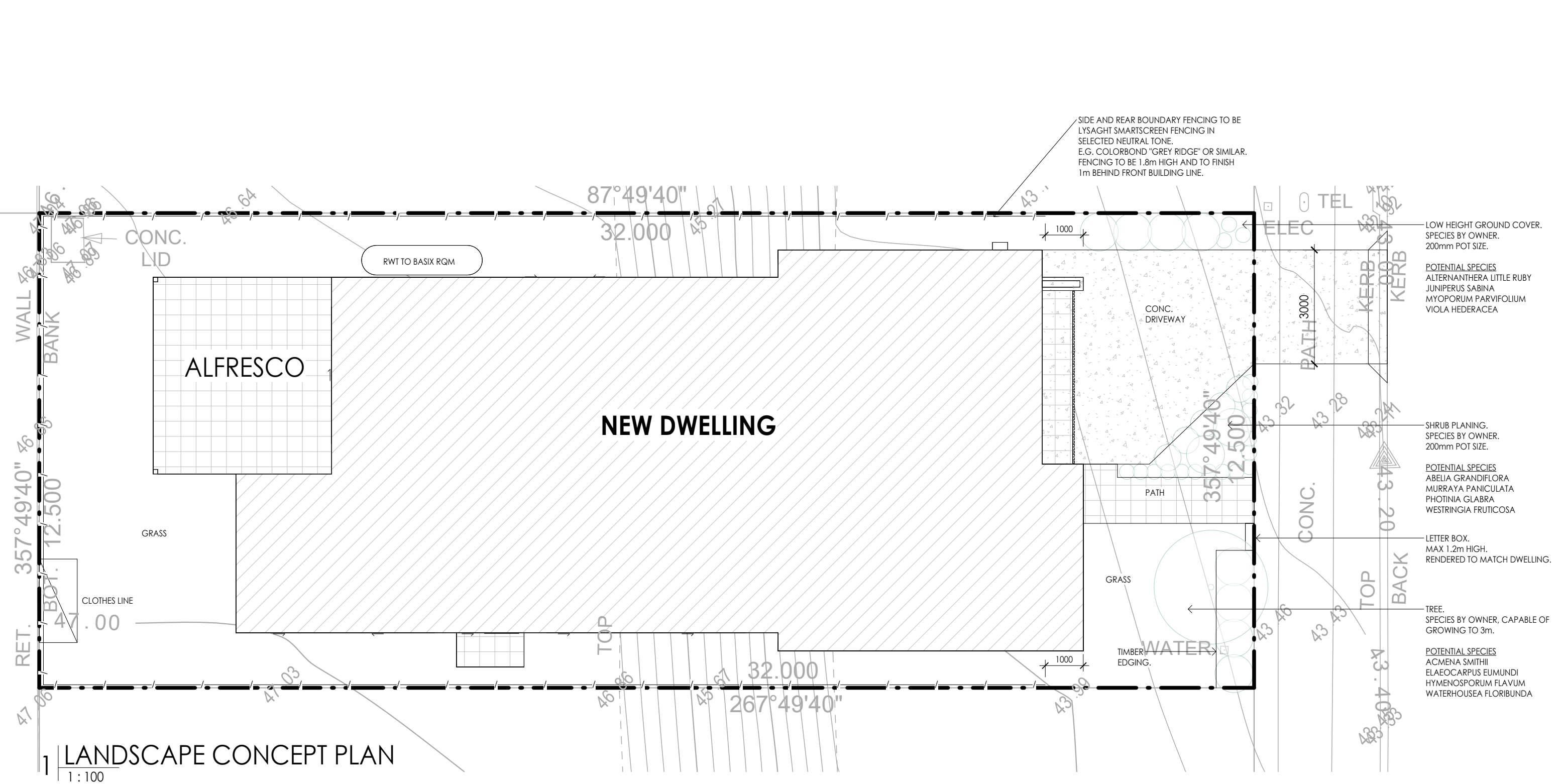
Rev	Status / Issue	Date	Description of rev. D
0	FIRST DRAFTS	14.02.2022	- Window sizes amended
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C	DEVELOPER APPROVAL	15.03.2023	
D	REVISIONS 4	21.03.2023	

Sheet **A13** Rev **D**

Dwg  
SHADOW DIAGRAM

Scale  
1 : 250 @A3





DRAFT ISSUE ONLY - NOT FOR CONSTRUCTION

AAC AAC PANEL - RENDERED AP ACCESS PANEL BFD BI-FOLD DOOR BG BOX GUTTER TO ENG. DETAIL BL CONC. BLOCKWORK BM BEAM TO ENG. DETAIL BV BRICK VENT TO BCA RQM C COLUMN TO ENG. 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